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OF COUNSEL:
JOHN L. SKELTON, JR. †

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August 1, 2018

Hand Delivered

Mr. John P. Pederson, AICP
Zoning Division Manager
Zoning Division
Cobb County Community Development Agency
Suite 400
1150 Powder Springs Road
Marietta, Georgia 30064



RE: Application for Rezoning - Application No. Z-43 (2018)
Applicant: Century Communities of Georgia, LLC
Property Owners: Estate of Bernard E. Inhulsen and
Karen Savage Landers
Property: 42.10 acres, more or less, located on the
northeast side of Lost Mountain Road; north of
Macland Road, Land Lots 386 and 429,
19th District, 2nd Section, Cobb County, Georgia

Dear John:

The undersigned and this firm represent Century Communities of Georgia, LLC, the Applicant (hereinafter referred to as "Applicant"); as well as the Property Owners, The Estate of Bernard E. Inhulsen and Karen Savage Landers (hereinafter collectively referred to as "Owners"), in the Application for Rezoning with regard to property located on the northeast side of Lost Mountain Road, north of Macland Road, being more particularly known as 1945 and 1949 Lost Mountain Road, Land Lots 386 and 429, 19th District, 2nd Section, Cobb County, Georgia (hereinafter the "Property" or "Subject Property"). After meetings and discussions with Planning and Zoning

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Zoning Division Manager
Zoning Division
Cobb County Community Development Agency
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Staff and various Cobb County Departmental Representatives, ongoing discussions and meetings with area civic and homeowner representatives and residents, and reviewing the Departmental Comments and Staff Recommendations and the uses of surrounding properties, we have been authorized by the Applicant to submit this letter of agreeable stipulations and conditions which, if the Application for Rezoning is approved, as submitted, shall become a part of the grant of the requested zoning and shall be binding upon the Subject Property. The proposed stipulations are as follows:

- (1) Applicant seeks rezoning of the Subject Property from the existing zoning category of R-80 to the proposed zoning category of Residential Senior Living (“RSL”) (non-supportive), site plan specific to the Zoning Plan prepared for Applicant by Gaskins Surveying Company, Inc., dated April 5, 2018, and filed with the Application for Rezoning on April 5, 2018. A reduced copy of the Zoning Plan is attached hereto for ease of reference as Exhibit “A” and incorporated herein by reference.
- (2) The Subject Property is a total of approximately 42.10 acres, and is proposed for a maximum of eighty-seven (87) non-supportive, detached, age-restricted residential homes.
- (3) Residents within the proposed community shall be restricted to those persons age fifty-five (55) and older, pursuant to and in accordance with the RSL Zoning Ordinance.
- (4) The residences shall have a minimum of 1,700 square feet of heated and cooled living space.
- (5) The proposed residences shall be traditional and craftsman style and architecture, with exterior materials consisting of brick stone, stacked stone, cedar shake, hardi-plank, board and batten, and combinations thereof, and shall be substantially similar to the homes represented in the elevations attached collectively as Exhibit “B” and incorporated herein by reference.
- (6) Applicant agrees to the recording and enforcement of a Declaration of Restrictive Covenants which shall contain covenants, rules, and regulations applicable to the proposed residential community and consistent with the age restrictions of the RSL Ordinance.
- (7) Additionally, and in conjunction with the Declaration of Restrictive Covenants, Applicant agrees to the creation of a mandatory homeowners’ association which

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shall be responsible for architectural controls of the residences within the proposed community; as well as, the upkeep and maintenance of the entrance area, signage, all common areas, mail kiosk, amenity areas, walking trails, pocket parks, and private streets contained within the proposed residential community.

- (8) The yard areas around the residences shall be fully sodded and maintained by the mandatory homeowners association to be created through the Declaration of Restrictive Covenants applicable to the residential community.
- (9) Entrance signage for the proposed community shall be ground based, monument-style signage, and shall consist of brick, stone, stacked stone, stucco, or combinations thereof, with accents, complementary to materials used in the construction of the homes within the community; and shall comply in all respects with the Cobb County Sign Ordinance. The entrance landscaping shall be professionally designed and implemented, with final approval being made by the Cobb County Arborist.
- (10) Street lighting within the proposed community shall be environmentally sensitive, decorative, and themed to the architecture and style of the residences, as offered by the power provider.
- (11) The setbacks for the proposed residential community shall be as shown on the submitted Zoning Plan.
- (12) The community shall have a passive amenity area consisting of walking trails, pocket park areas, and gathering spaces.
- (13) All utilities for the proposed community shall be located underground.
- (14) All landscaping referenced herein shall be approved by the Cobb County Arborist as part of the Plan Review Process and incorporated into the overall landscaping plan for the proposed community. Landscape buffer areas, as shown on the submitted Zoning Plan, shall be of a high quality and shall be professionally designed and installed.
- (15) Applicant agrees to establish a thirty (30) foot perimeter buffer around the entirety of the perimeter of the Subject Property. Such perimeter buffer shall be appropriately landscaped within the proposed development lots; and, further, shall be left natural and enhanced along the undeveloped areas of the Subject Property.

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- (16) All streets within the proposed residential community shall be private with the construction complying in all respects as to materials, base, and other requirements to the Cobb County Code; and, at Applicant's option, the community may be gated in compliance with all applicable Cobb County Codes, Standards, and Ordinances.
- (17) All construction and employee vehicles and equipment will be parked, and otherwise located on, the Subject Property during development of infrastructure and construction of residences, and shall not be parked on or along Lost Mountain Road or any roadways or streets near or adjacent to the Subject Property.
- (18) There shall be no direct access from any lots within the proposed community to Lost Mountain Road.
- (19) Applicant agrees to construct internal sidewalks along one side of the streets within the proposed community which shall connect to exterior street sidewalks. Said internal sidewalks shall comply in all respects with Cobb County Standards and Ordinances.
- (20) The detention areas shall be as shown and reflected on the referenced Zoning Plan. The detention areas shall be fenced with black, vinyl-clad chain link fencing, a minimum of six (6) feet in height. Landscaping for these areas shall be to the exterior of the fencing for purposes of visual screening. The landscaping shall be approved by the Cobb County Arborist during the Plan Review Process.
- (21) All setbacks, landscape, and buffer areas may be penetrated for purposes of fencing, access, utilities, and stormwater management; including, but not limited to, drainage and detention facilities, utilities, and any and all slopes or other required engineering features of the foregoing. Any disturbed area shall be restored with comparable plantings, in accordance with the approved and submitted Landscape Plan, and as allowed by Cobb County or any utility provider.
- (22) Applicant agrees to comply with all Cobb County Development Standards and Ordinances relating to project improvements; except as approved by the Board of Commissioners or by the Department of Transportation or Community Development Agency, as their authority may allow.
- (23) Minor modifications to the within stipulations, the referenced Zoning Plan, lighting, signage, landscaping, architecture, site features, and the like, may be

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approved by the District Commissioner, as needed or necessary, except for those that:

- (a) Increase the density of a residential project or the overall square footage of a non-residential project;
 - (b) Reduce the size of an approved buffer adjacent to a property that is zoned the same or in a more restrictive zoning district;
 - (c) Relocate a structure closer to the property line of an adjacent property that is zoned the same or in a more restrictive zoning district;
 - (d) Increase the height of a building that is adjacent to a property that is zoned the same or in a more restrictive zoning district;
 - (e) Change an access location to a different roadway;
 - (f) Would be in direct contradiction or conflict with any of the stipulations of this rezoning;
 - (g) Would be in direct contradiction or conflict with Cobb County Code and Ordinances; or
 - (h) Would be in direct contradiction or conflict with any Staff Recommendations that were adopted into the final zoning decision.
- (24) Applicant agrees to comply with all Cobb County Stormwater Management requirements applicable to the Subject Property.
- (25) Applicant agrees to comply with the Comments and Recommendations from Cobb County Water and Sewer regarding the availability and accessibility of water and sewer for the Subject Property.
- (26) Applicant agrees to the following system improvements to mitigate traffic concerns:
- (a) Installation of sidewalk, curb, and gutter along the frontage of the Subject property along Lost Mountain Road;

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Zoning Division Manager
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Cobb County Community Development Agency
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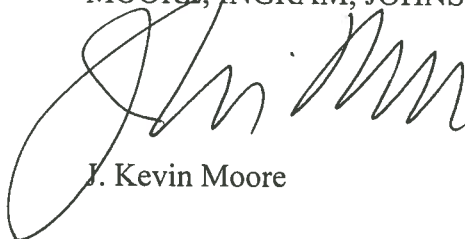
- (b) Construction of deceleration lane, a minimum of one hundred fifty (150) feet in length, along the frontage of the Subject Property on Lost Mountain Road;
- (c) Donation of right-of-way a maximum of twenty-five (25) feet in width from the existing roadway centerline along the frontage of property along Lost Mountain, with all setbacks measured from the existing right-of-way;
- (d) Construction of left-turn lane into the proposed development; and
- (e) All internal streets shall have curb and gutter.

We believe the requested zoning, pursuant to the Zoning Plan and the stipulations set forth herein, is an appropriate use of the Subject Property while taking into consideration the existing conditions of the Property and the area surrounding the proposed development. The proposed community shall be a quality development and shall provide a much-needed and highly sought after type of community within the West Cobb County area. Thank you for your consideration in this request.

With kindest regards, I remain

Very truly yours,

MOORE, INGRAM, JOHNSON & STEELE, LLP



J. Kevin Moore

JKM:cc
Attachments

MOORE INGRAM JOHNSON & STEELE

Mr. John P. Pederson, AICP
Zoning Division Manager
Zoning Division
Cobb County Community Development Agency
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c: Cobb County Board of Commissioners:

Mike Boyce, Chairman
JoAnn Birrell
Lisa N. Cupid
Robert J. Ott
Bob Weatherford
(With Copies of Attachments)

Cobb County Planning Commission
Judy Williams, Chairman
Thea Powell
Skip Gunther
Galt Porter
Andy Smith
(With Copies of Attachments)

Jason A. Campbell
Planner III
Zoning Division
Cobb County Community Development Agency
(With Copies of Attachments)

Century Communities of Georgia, LLC
(With Copies of Attachments)



NOT ISSUED FOR CONSTRUCTION

APR - E 2018



- GENERAL SITE NOTES:**
- TOTAL SITE AREA = 42.10 ACRES
 - TOTAL NUMBER OF PROPOSED LOTS = 81 LOTS
 - CONTRACT COMMUNITY NAME: _____
 - CONTRACT COMMUNITY NUMBER: _____
 - CONTRACT COMMUNITY ADDRESS: _____
 - CONTRACT COMMUNITY CITY: _____
 - CONTRACT COMMUNITY STATE: _____
 - CONTRACT COMMUNITY ZIP: _____
 - CONTRACT COMMUNITY COUNTY: _____
 - CONTRACT COMMUNITY DISTRICT: _____
 - CONTRACT COMMUNITY SUBDISTRICT: _____
 - CONTRACT COMMUNITY PHASE: _____
 - CONTRACT COMMUNITY TRACT: _____
 - CONTRACT COMMUNITY SUBTRACT: _____
 - CONTRACT COMMUNITY BLOCK: _____
 - CONTRACT COMMUNITY LOT: _____
 - CONTRACT COMMUNITY UNIT: _____
 - CONTRACT COMMUNITY SUBUNIT: _____
 - CONTRACT COMMUNITY PHASE: _____
 - CONTRACT COMMUNITY TRACT: _____
 - CONTRACT COMMUNITY SUBTRACT: _____
 - CONTRACT COMMUNITY BLOCK: _____
 - CONTRACT COMMUNITY LOT: _____
 - CONTRACT COMMUNITY UNIT: _____
 - CONTRACT COMMUNITY SUBUNIT: _____

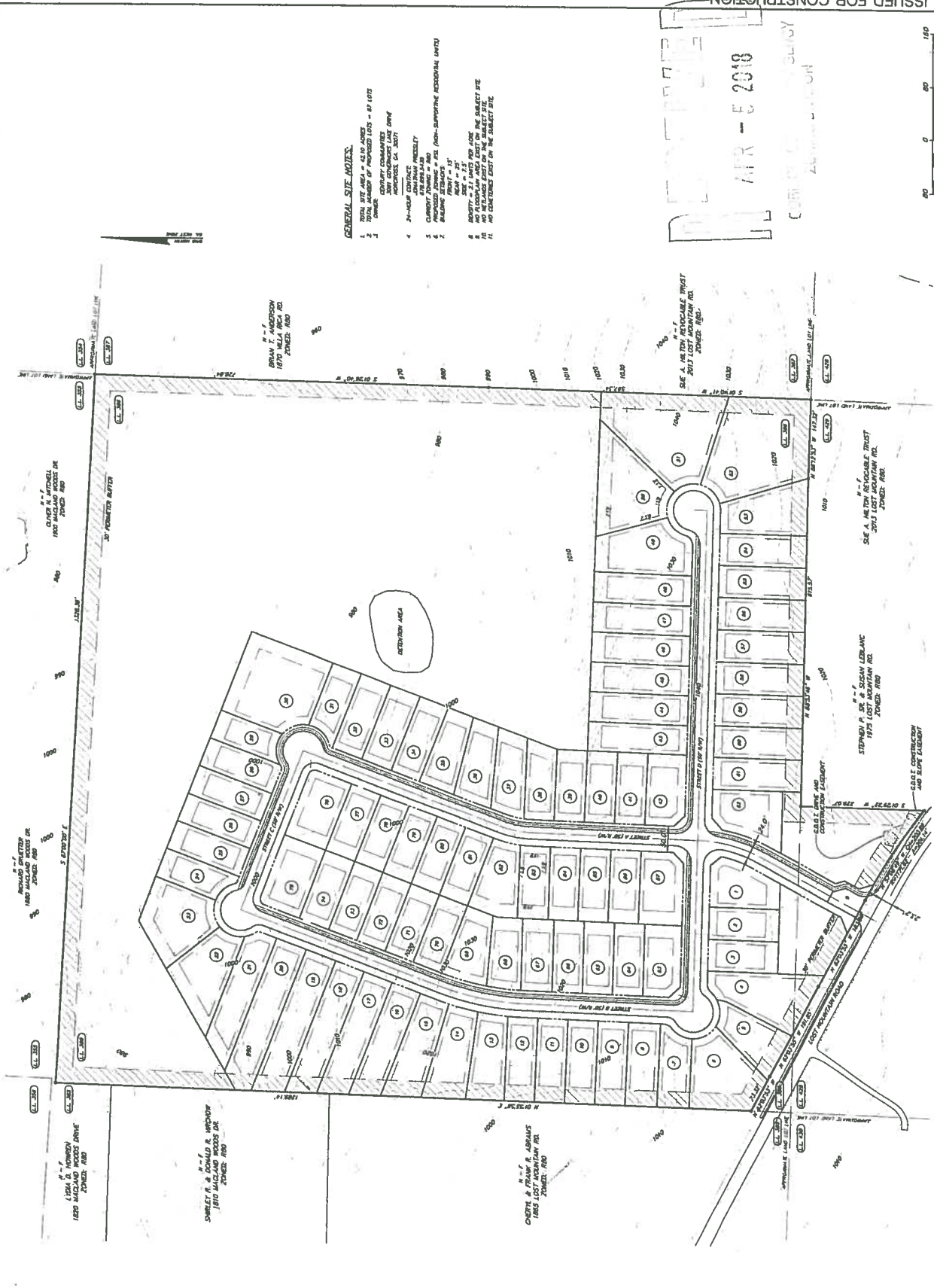


EXHIBIT "A"

AMBROSE

APPROX. 1,704 SQ. FT. | ONE-STORY
2 BEDROOMS | 2 BATHROOMS | 2-CAR GARAGE



ELEVATION A



ELEVATION B



ELEVATION C

EXHIBIT "B"

CenturyCommunities.com



In a continuous effort by Century Communities to improve the quality of your home, we reserve the right to change features, options, plans and specifications without notice. Floorplans and elevation renderings are conceptual artists' renderings for marketing purposes only. Elevations and floorplans may vary based on actual homesite and Century Communities may be required to build the home in a mirror image to the floorplans shown, including the garage, due to construction and building design requirements of the homesite. Significant changes may be made during or after the construction of the model homes. Century Communities reserves the right to modify, relocate or eliminate any or all of the features, specifications, plan utilities, design or shape thereof without notice or obligations to the purchaser. Please see your onsite sales associate for additional information. Brick/Stone returns are not standard on the elevations, please see your onsite agent for details. Century Communities. Revised 4/16/18



AMBROSE

APPROX. 1,704 SQ. FT. | ONE-STORY
2 BEDROOMS | 2 BATHROOMS | 2-CAR GARAGE



ELEVATION D



ELEVATION E



ELEVATION F

CenturyCommunities.com



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CRESTWOOD

APPROX. 1,823 SQ. FT. | ONE-STORY
2 BEDROOMS | 2 BATHROOMS | 2-CAR GARAGE



ELEVATION A



ELEVATION B



ELEVATION C

CenturyCommunities.com



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CRESTWOOD

APPROX. 1,823 SQ. FT. | ONE-STORY
2 BEDROOMS | 2 BATHROOMS | 2-CAR GARAGE



ELEVATION D



ELEVATION E



ELEVATION F

CenturyCommunities.com



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SIENNA

APPROX. 2,069 SQ. FT. | ONE-STORY
3 BEDROOMS | 2 BATHROOMS | 2-CAR GARAGE



ELEVATION A



ELEVATION B



ELEVATION C

CenturyCommunities.com



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SIENNA

APPROX. 2,069 SQ. FT. | ONE-STORY
3 BEDROOMS | 2 BATHROOMS | 2-CAR GARAGE



ELEVATION D



ELEVATION E

CenturyCommunities.com



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