

**EXISTING GC ZONING PER COBB COUNTYGIS & MUNICODE WEBSITE**  
 (GC: GENERAL COMMERCIAL, Minimum 20,000 Sq.Ft. Lot Size)  
**UNITS PER ACRE - N/A, Minimum Lot Width At Setback - 60' Feet**  
**Minimum Front YARD Setback**  
 Arterial/Collector/Local - 50 Feet/40 Feet/40 Feet  
**Major Side Yard -25/35' Feet, Minimum Side Yard Setback - 10 Feet,**  
**Minimum Rear Yard Setback - 30 Feet, Maximum Coverage - N/A**  
**Maximum Height Of Structure - 4 Stories**

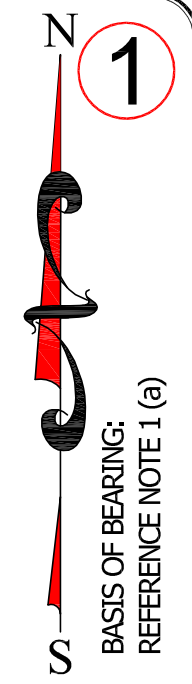
**EXISTING R-20 ZONING PER COBB COUNTYGIS & MUNICODE WEBSITE**  
 (R-20: single-family residential, 20,000-square-foot lot size)  
**UNITS PER ACRE - 1.75 avg., Minimum Lot Width At Setback - 75/50' Feet**  
**Minimum Front YARD Setback**  
 Arterial/Collector/Local - 40 Feet/40 Feet/35 Feet  
**Major Side Yard -25/35' Feet, Minimum Side Yard Setback - 10 Feet,**  
**Minimum Rear Yard Setback - 35 Feet, Maximum Coverage - 35%**  
**Maximum Height Of Structure - 35 Feet, Minimum Floor Area - 1200 Sq.Ft.**

**RETRACEMENT & ZONING SURVEY FOR:**  
**MABLETON CENTER INC.**  
 6145 MABLETON PARKWAY - PIN: 1801890035  
 MABLETON, GEORGIA 30126  
 Land Lot(s) 189 & 190, 18th District, 2nd Section Cobb County  
 Field Measured **101,876.0725 Sq.Ft. and 2,338 Acres** of Land  
**PRESENT ZONING GC/R-20**  
 OWNER(S) PER COBB COUNTY ASSESSORS GIS WEBSITE:  
**JIMMY D. HESTER**  
 kencoper@aol.com  
 BY: **P S C**  
 Surveying the World, One parcel at a time!

**PROPOSED NRC ZONING PER COBB COUNTYGIS & MUNICODE WEBSITE**  
 NRC (Neighborhood Retail Commercial, Minimum 20,000 Sq.Ft. Lot Area)  
**Units per Acre, Max FAR - N/A, 0.5 Office**  
**Minimum Lot Width At Setback - 60 Feet**  
**Minimum Front YARD Setback**  
 Arterial/Collector/Local - 50 Feet/40 Feet/40 Feet  
**Major Side Yard -25/35' Feet, Minimum Side Yard Setback - 15 Feet,**  
**Minimum Rear Yard Setback - 30 Feet, Maximum Coverage - N/A**  
**Maximum Height Of Structure - 35 Feet**

**SQUARE FOOTAGE FOR STRUCTURES AND FACILITIES LOCATED AT 6145 MABLETON PARKWAY.**

A. ONE STORY BUILDING: 1,093.22 Sq.Ft.  
 B. OVERHANG: 864.77 Sq.Ft.  
 C. SHED: 60.67 Sq.Ft.  
 D. SHED: 301.76 Sq.Ft.  
 E. CONCRETE PAD: 556.03 Sq.Ft.  
 F. CONCRETE PAD: 374.12 Sq.Ft.  
 G. ONE STORY BUILDING: 3,625.40 Sq.Ft.  
 H. BUILDING/SHED: 137.72 Sq.Ft.  
 I. DOCK: 109.01 Sq.Ft.  
**Concrete and Structures Shaded Impervious Area 23,666.5433 Sq.Ft. - 23.23%**



**SURVEYOR'S NOTES**

- 1) REFERENCES:  
 a.) PLAT DATED 09-11-97 BY GASKINS SURVEYING COMPANY FOR JIM'S USED APPLIANCES. SIGNED BY GRLS#2060, JOHN C. GASKINS AND GRLS#2403 DARRELL D. RAINES.  
 b.) DEED BOOK - 14630, Page 6454  
 c.) ALL OTHER REFERENCES ON FACE OF SURVEY.
  - 2) RECORD NORTH AND ALL BEARINGS SHOWN REFLECT REFERENCE PLAT OR DEED.
  - 3) THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A RAW CLOSURE OF ONE FOOT IN 62,712 FEET, AND WAS ADJUSTED USING A LEAST SQUARES ROUTINE YIELDING A CLOSURE OF ONE FOOT IN 118,545.
  - 4) THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A COMPLETE AND THOROUGH TITLE ABSTRACT.
  - 5) BOUNDARY SURVEY OF EXISTING PARCEL BEING TAX PARCEL ID # 1801890035.
  - 6) FIELD EQUIPMENT USED : LEICA TOTAL STATION, ALLEGRO DC
- THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND LOT 1 IS FOUND TO BE ACCURATE TO WITHIN ONE FOOT IN 228,588 FEET.
- THE FIELD WORK FOR THIS SURVEY WAS DONE ON March 28-April 2, 2018.

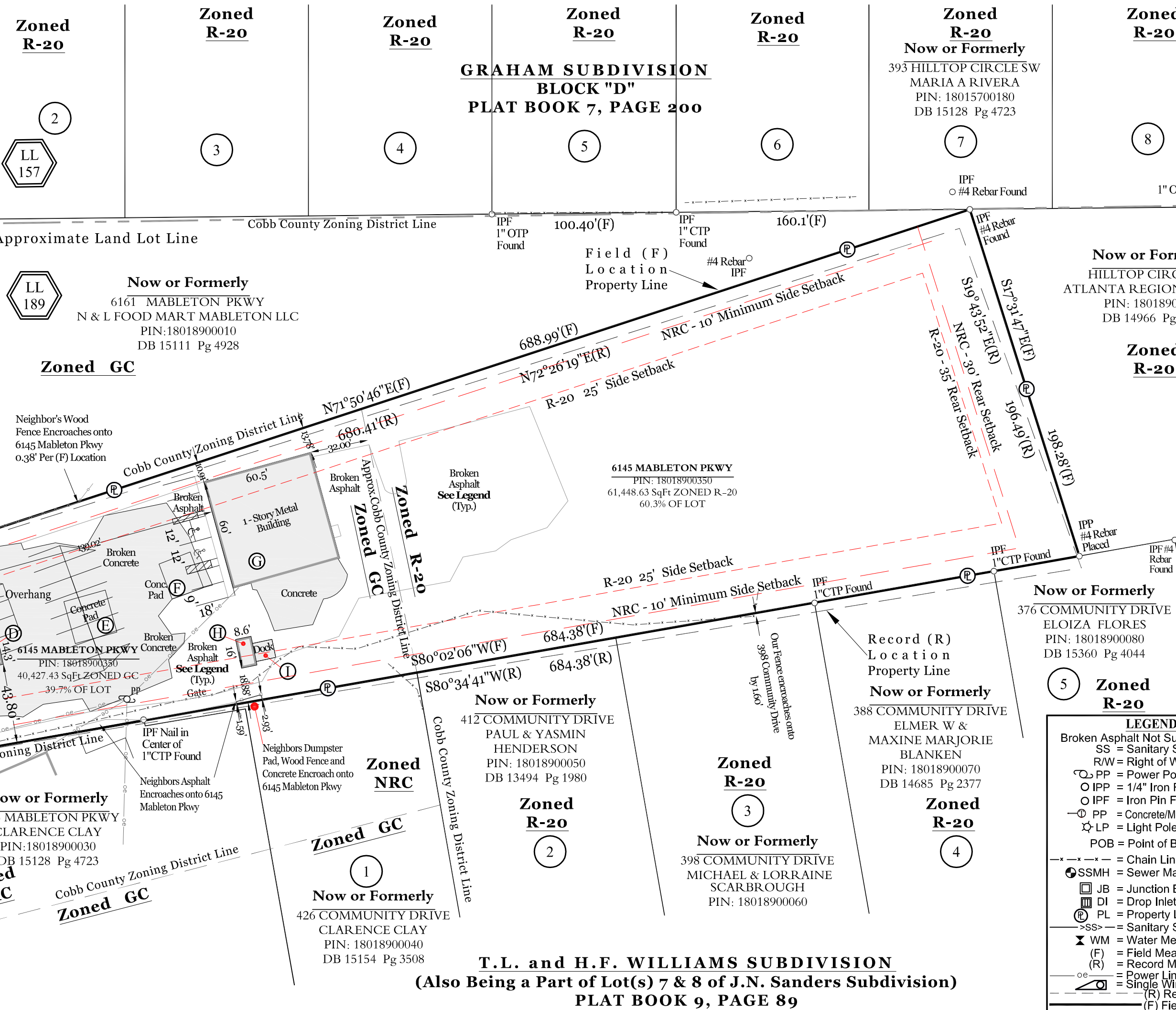
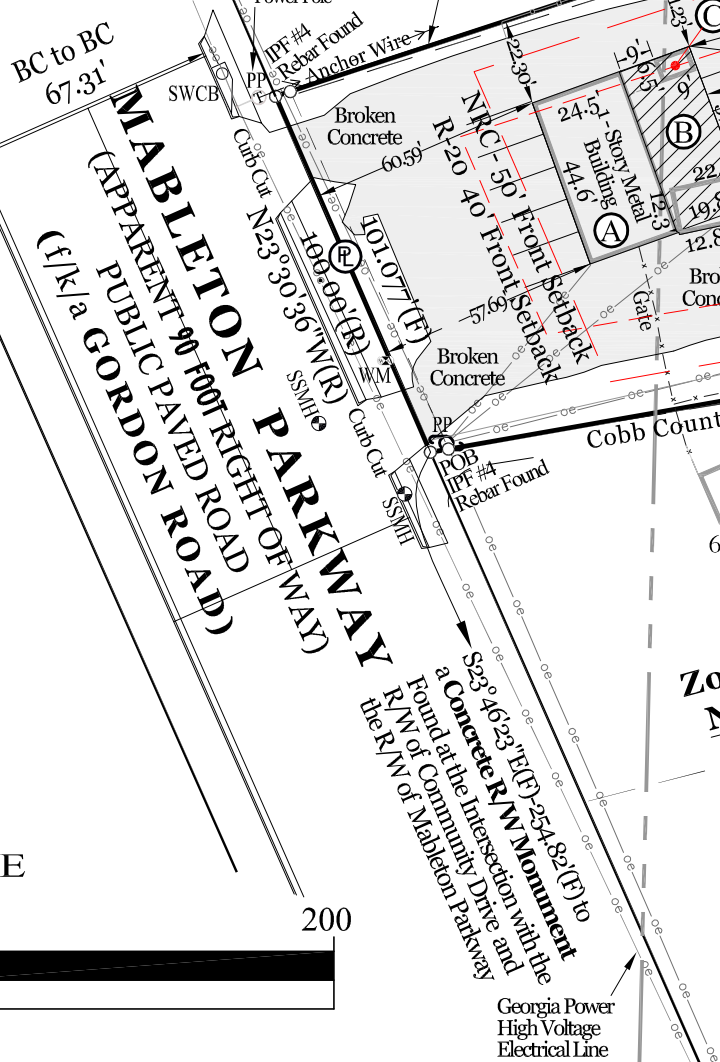
**NRC ZONING - PARKING**  
 1 space per 4 seats in the principal place of worship, provided that the number of spaces thus required may be reduced by not more than 50 percent if the place of worship is located within 500 feet of any public parking lot or any commercial parking lot where sufficient spaces are available by permission of the owner without charge, during the time of services, to make up the additional spaces required.

**Neighborhood Retail Uses - PARKING**  
 1 space per 200 square feet (net) of floorspace.

**Office service and supply establishments**  
 1 space per 200 square feet (net) of floorspace, 1 space per employee.

**Offices not elsewhere classified**  
 1 space per 285 square feet (net) of floorspace. Other consumer goods and services 1 space per 200 square feet (net) of floorspace.

**Other service establishments**  
 1 space per 200 square feet (net) of floorspace.



**Revised: September 14, 2018**  
**Cobb County Zoning Comments**

**T.L. and H.F. WILLIAMS SUBDIVISION**  
 (Also Being a Part of Lot(s) 7 & 8 of J.N. Sanders Subdivision)  
**PLAT BOOK 9, PAGE 89**

- LEGEND**
- Broken Asphalt Not Suitable for USE
  - SS = Sanitary Sewer
  - R/W = Right of Way
  - IPP = 1/4" Iron Rebar Placed
  - IPF = Iron Pin Found
  - ⊙ PP = Concrete/Metal Power Pole
  - ☆ LP = Light Pole
  - POB = Point of Beginning
  - = Chain Link Fence
  - ⊙ SSMH = Sewer Manhole
  - ⊙ DI = Drop Inlet
  - ⊙ PL = Property Line
  - SS --- = Sanitary Sewer Line
  - ⊙ WM = Water Meter
  - (F) = Field Measurement
  - (R) = Record Measurement
  - = Power Line
  - ⊙ = Single Wing Catch Basin
  - (R) Record P/L
  - (F) Field Located P/L

**SURVEY REQUESTED BY:**  
 Lisa S. Morchower  
**Berman Fink Van Horn P.C.**  
 3475 Piedmont Road, N.E. Suite 1100, Atlanta, GA 30305  
 (404) 261-7711 ext. 117 | (404) 233-1943 fax  
 (770) 826-4441 cell  
 lorchower@bflvaw.com | www.bflvaw.com  
**RETRACEMENT AND ZONING SURVEY FOR:**

**Perimeter Surveying Co., Inc.**  
 KENNETH L. NUTT, GA., R.L.S. #2104  
 1065 Sandtown Road, SW Marietta, GA 30008  
**P:(770) 425-6824 F:(770) 425-6768**  
 COA# LSF001223  
 kencoper@aol.com

This plat is a retracement of an existing parcel or parcels of land and does not subdivide or create a new parcel. The recording information of the documents, maps, plats, or other instruments which created the parcel or parcels are stated hereon. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, NOR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67.

Rev.08/14/2018  
 APRIL 02, 2018



SHEET SIZE 17X22  
 "ANSI C"  
**SHEET 1**  
 of 1

**TRACT AREA**  
 Record - 99,991.7399 Sq.Ft., 2.295 Acres  
 Field - 101,876.0725 Sq.Ft., 2,338 Acres

**FLOOD NOTE**  
 ACCORDING TO F.I.R.M. COMMUNITY PANEL # 13067C0212H, EFFECTIVE ON 03/04/2013 AND PART OF THIS PROPERTY IS NOT LOCATED IN AN AREA HAVING SPECIAL FLOOD HAZARDS AND IS LOCATED IN ZONE "X".  
 COBB COUNTY UNINCORPORATED AREAS 130052

**MABLETON CENTER INC.**

6145 Mableton Pkwy., Mableton GA, 30126  
 PIN: 180018900350, COBB COUNTY GEORGIA  
 LAND LOT(S) 189 & 190, 18th DISTRICT, 2nd SECTION

Computed By: RSN  
 Drawn By: RWilson/RNutt  
 Checked By: KNutt

Party Chief: RWilson  
 Field Survey Date: 03/28/18  
 Job #: 004418

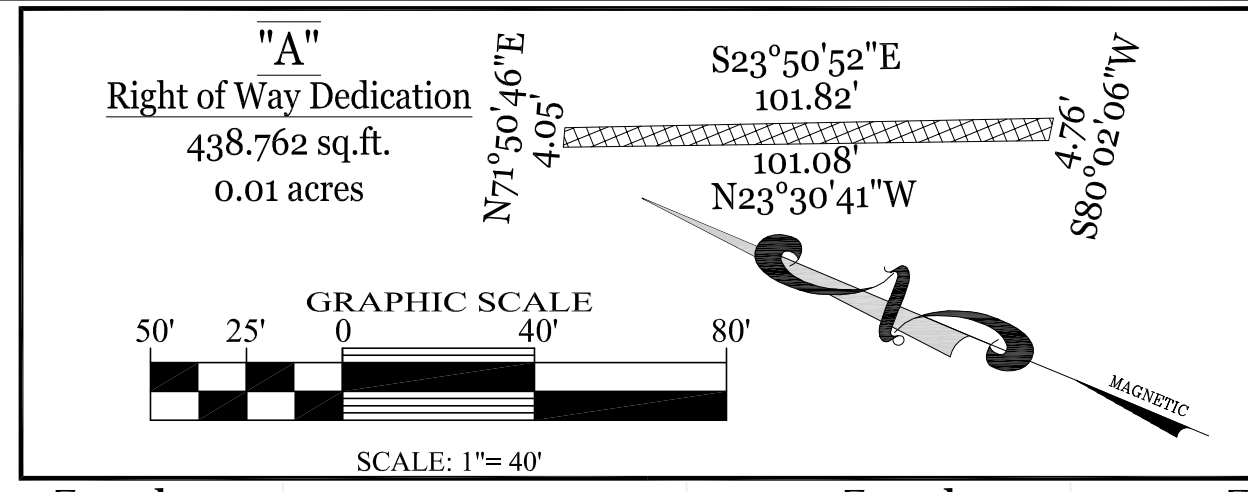
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# ZONING CONCEPTUAL DRAWING FOR:

## MABLETON CENTER INC.

6145 MABLETON PARKWAY - PIN: 1801890035  
MABLETON, GEORGIA 30126



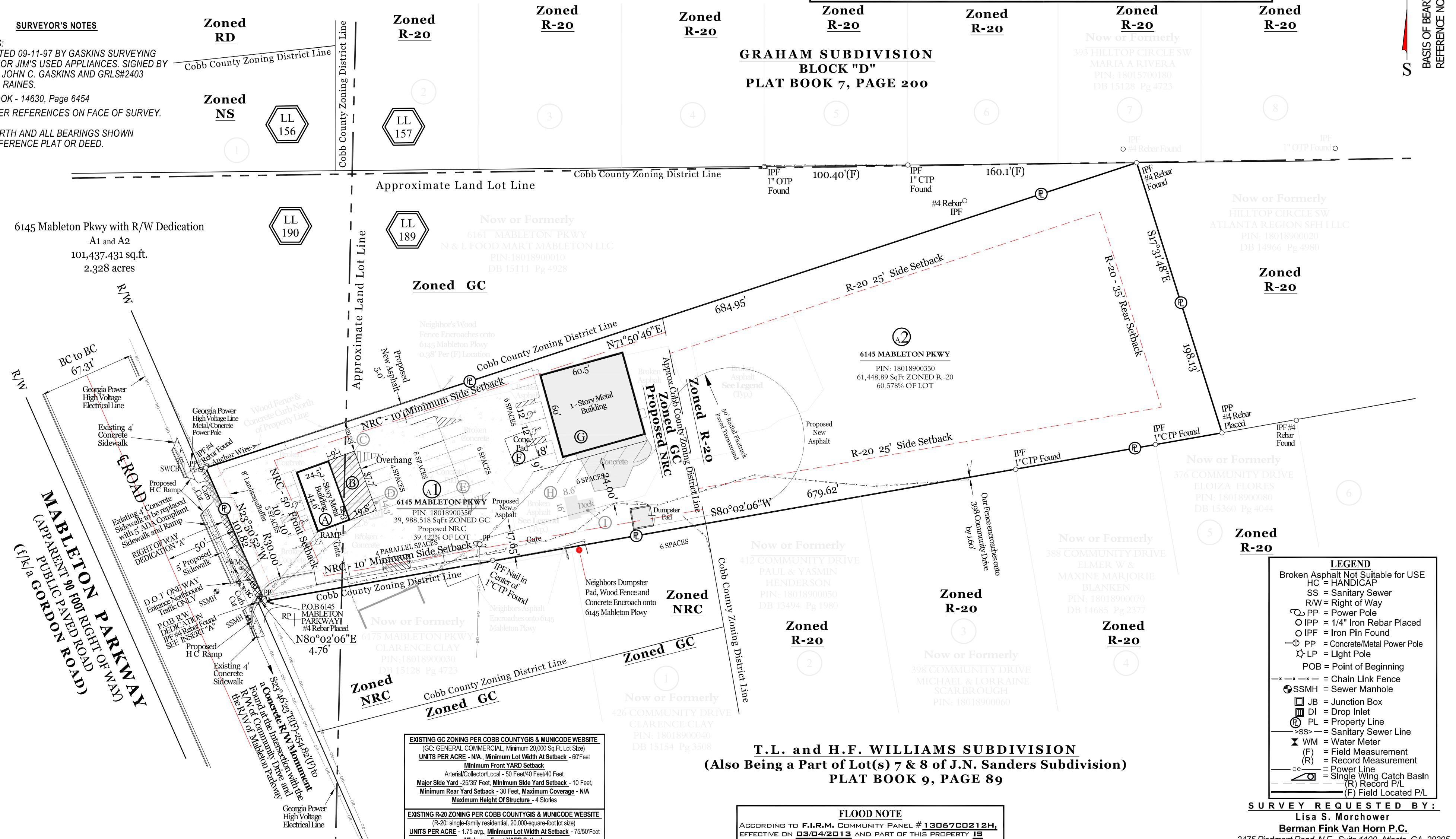
kencoper@aol.com  
**P S C I**  
Surveying the World, One parcel at a time!

**2**

N  
S

BASIS OF BEARING:  
REFERENCE NOTE 1 (a)

- SURVEYOR'S NOTES**
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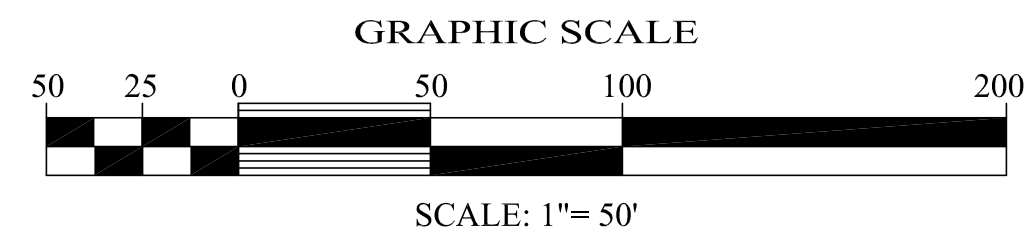
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**SURVEY REQUESTED BY:**  
Lisa S. Morchower  
**Berman Fink Van Horn P.C.**  
3475 Piedmont Road, N.E. Suite 1100, Atlanta, GA 30305  
(404) 261-7711 ext. 117 | (404) 233-1943 fax  
(770) 826-4441 cell  
lmorchower@bflaw.com | www.bflaw.com  
CONCEPTUAL DRAWING FOR ZONING:

**Perimeter Surveying Co., Inc.**  
KENNETH L. NUTT, GA., R.L.S. #2104  
1065 Sandtown Road, SW Marietta, GA 30008  
P:(770) 425-6824 F: (770) 425-6768  
COA# LSF001223  
kencoper@aol.com

SHEET SIZE 24X36  
ANSI C  
**SHEET 1**  
of 1



**CONCEPTUAL DRAWING**  
DATE: September 14, 2018

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