

**JUNE 19, 2018 ZONING HEARING  
“OTHER BUSINESS”  
COMMISSION DISTRICT 2**

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**ITEM OB-031**

**PURPOSE**

To consider a stipulation and a site plan amendment for Broadstone Windy Ridge, LLC regarding rezoning application Z-27 of 2015 for property located at the southwest intersection of Powers Ferry Road and Windy Ridge Parkway, in Land Lots 985 and 1008 of the 17<sup>th</sup> District (2020 Powers Ferry Road).

**BACKGROUND**

The subject property is zoned Urban Village Commercial (UVC) for a mixed use development consisting of 280 apartments and 8,000 square feet of commercial space subject to numerous stipulations. The project is under construction and the applicant needs to modify the stipulations and the site plan to finish the project. The applicant would like to clarify the building architecture and use which are addressed in Exhibits B, C and D. The applicant would also like to amend the site plan which is incorporated into Exhibits E and F. The applicant has submitted many exhibits which are attached to this item, along with a detailed list of amendments. If approved, all other zoning stipulations not in conflict with this amendment would remain in effect.

**STAFF COMMENTS**

**Cobb DOT:** 1) Recommend applicant be required to meet all Cobb County Development Standards and Ordinances related to project improvements; 2) Recommend restriping the crosswalk and gore around the median at the southwest corner of Powers Ferry Road at Windy Ridge Parkway; 3) Recommend all nonconforming items (i.e trees, stairs, and pavers) be moved outside of the right-of-way. Cobb County DOT does not maintain pavers, stairs, or the type of tree shown on the site plan; 4) Recommend applicant consider entering into a development agreement pursuant to O.C.G.A. 36-71-13 for dedication of the following system improvements to mitigate traffic concerns: a) donation of right-

(Continued on the next page)

**JUNE 19, 2018 ZONING HEARING  
“OTHER BUSINESS”  
COMMISSION DISTRICT 2  
PAGE 2**

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**ITEM OB-031** (continued)

of-way on Windy Ridge Parkway to accommodate a planned 10’ multi-use trail; b) traffic signal at Windy Ridge Parkway entrance should it become warranted in the future; 5) Recommend a 10’ multi-use trail along the frontage of Windy Ridge Parkway; and 6) Recommend applicant submit site details to Cobb DOT for coordination with Cobb County Airport Manager to determine potential need for a FAA study.

**Stormwater:** Subject to Plan Review.

**RECOMMENDATION**

The Board of Commissioners conduct a Public Hearing and consider the proposed stipulation and site plan amendment.

**ATTACHMENTS**

Other Business application and Exhibits & proposed plans.

# Application for "Other Business"

06-31-2018

## Cobb County, Georgia

(Cobb County Zoning Division - 770-528-2035)

BOC Hearing Date Requested: 6/19/18

**Applicant:** BROADSTONE WINDY RIDGE, LLC Phone #: 404-923-8206  
(applicant's name printed)

**Address:** 2020 POWERS FERRY ROAD, ATLANTA, GA 30339 E-Mail: TOGLESBY@ALFRESCO.COM

TODD OGLESBY Address: 3715 NORTHSIDE PKWY, SUITE 1102, ATLANTA, GA 30327  
(representative's name, printed)

TODD OGLESBY Phone #: 404-923-8206 E-Mail: TOGLESBY@ALFRESCO.COM  
(representative's signature)

Signed, sealed and delivered in presence of:

[Signature]  
Notary Public

RECEIVED  
MAY 16 2018  
My commission expires:  
COBB CO. COMM. DEPT. AGENCY  
ZONING DIVISION

Gabrielle Barnes  
My Commission Expires  
Notary Public  
February 07, 2021  
Cobb County, Georgia

**Titleholder(s):** BROADSTONE WINDY RIDGE, LLC Phone #: 404-923-8206  
(property owner's name printed)

**Address:** 2020 POWERS FERRY RD, ATLANTA, GA 30339 E-Mail: TOGLESBY@ALFRESCO.COM

TODD OGLESBY  
(Property owner's signature)

Signed, sealed and delivered in presence of:

[Signature]  
Notary Public

My commission expires:

Gabrielle Barnes  
My Commission Expires  
Notary Public  
February 07, 2021  
Cobb County, Georgia

**Commission District:** 2 **Zoning Case:** Z-27/2015

**Size of property in acres:** 3.14 ACRES **Original Date of Hearing:** JUNE 14, 2015

**Location:** 2020 POWERS FERRY RD (INTERSECTION OF POWERS FERRY RD + WINDY RIDGE PKWY)  
(street address, if applicable; nearest intersection, etc.)

**Land Lot(s):** 985/1008 **District(s):** 17<sup>TH</sup>

**State specifically the need or reason(s) for Other Business:** \_\_\_\_\_

SEE ATTACHED  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

(List or attach additional information if needed)

*To amend the zoning stipulations letter and exhibits that were approved on June 16, 2015 to reflect modifications to the plans required based on existing site conditions and design constraints. While not all of the items below would require approval of the BOC, as many are minor changes, we are providing for clarity and in the interest of efficiency.*

*The Commercial Component and Pedestrian Corner Park conceptual renderings (attached as Exhibit B) reflects the proposed final configuration of the Commercial area, the location of the leasing office across from the existing office building, and shall serve as a replacement for the Original Exhibit "B" from the approved zoning.*

*The revised Exhibit C elevations identify the current locations of finish materials, signage and balconies. Full vs Juliet balcony locations are clarified. These plans would replace the Original Exhibit "C" from the approved zoning. It is proposed that the building elevations be revised to match Exhibit B, to include enhancements at the corner of Windy Ridge and Powers Ferry by providing additional masonry and storefront glass.*

*The attached retail build out plans (attached as Exhibit D) reflect the final design of the Commercial spaces; these will be permitted separately, and upon approval, will serve as the basis for the buildout of the Commercial spaces.*

*A Pedestrian Corner Park has been added at the corner of Windy Ridge and Powers Ferry, which is not shown in the zoning documents, and provides access to the retail in lieu of stairs down from Powers Ferry (concept attached as Exhibit E). The plaza will include low level lighting.*

*The current Site Plan documents (Exhibit F) has been revised from the original zoning to incorporate final grades and to add a loading area at the rear of the property. Sidewalk, site walls and landscape planting layouts are proposed to be revised to reflect the concepts shown in Exhibits B and E.*

**Exhibits:**

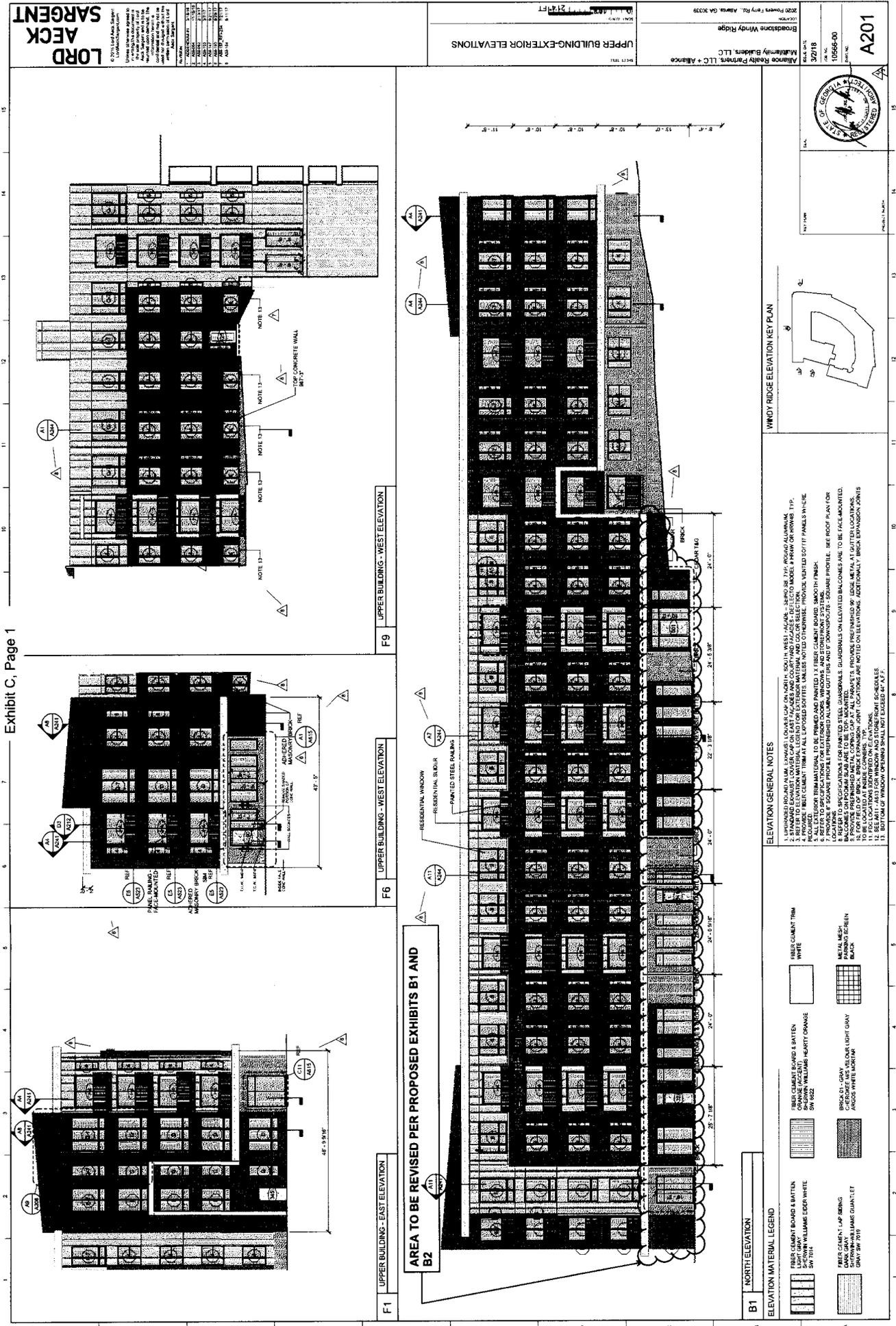
- B**      *Proposed Corner Park Enhancement*
- C**      *Elevations*
- D**      *Retail Build Out Plans*
- E**      *Concept for Pedestrian Corner Park*
- F**      *Current Site Plan Documents*

# EXHIBIT B: PROPOSED CORNER PARK ENHANCEMENT

Exhibit B, Page 1



**EXHIBIT C: ELEVATIONS**



**UPPER BUILDING - EAST ELEVATION** (F1)

**UPPER BUILDING - WEST ELEVATION** (F6)

**UPPER BUILDING - WEST ELEVATION** (F9)

**AREA TO BE REVISED PER PROPOSED EXHIBITS B1 AND B2**

**ELEVATION MATERIAL LEGEND**

- FIBER CEMENT BOARD & BATTEN SHERWIN WILLIAMS EDOR WHITE SW 7014
- FIBER CEMENT BOARD & BATTEN SHERWIN WILLIAMS HEARTY ORANGE SW 6622
- FIBER CEMENT LAP BRICK DARK GRAY SHERWIN WILLIAMS QUANT. ET GRAY SW 7015
- FIBER CEMENT BOARD & BATTEN SHERWIN WILLIAMS HEARTY ORANGE SW 6622
- BRICK 1 1/2" x 3 1/2" x 8" OVER LIGHT GRAY CHECKERED METAL OVER WHITE METAL ANGLE WHITE METAL
- FIBER CEMENT TRIM WHITE
- METAL MESH FINISHED SCREEN BACK

**ELEVATION GENERAL NOTES**

1. UNPAINTED ROUND ALUM. FINISH 1/2" COVER CAP ON NORTH, SOUTH, WEST & EAST - SHOULD BE 1/2" ROUND ALUMINUM
2. STANDARD EXHAUST COVER CAP ON EAST FRAMES AND COURT-YARD FACADE - REFLECTED MODEL PRIMARY OR HIRSH TYP.
3. ALL EXTERIOR TRIM MATERIAL TO BE PRIME AND PAINTED 1" FIBER CEMENT BOARD - SMOOTH FINISH
4. PROVIDE 1/2" SQUARE TRIM PROFILES AT CORNERS AND DOWNSPOUTS - SQUARE PROFILE. SEE ROOF PLAN FOR LOCATIONS
5. PROVIDE 1/2" SQUARE TRIM PROFILES AT CORNERS AND DOWNSPOUTS - SQUARE PROFILE. SEE ROOF PLAN FOR LOCATIONS
6. PROVIDE 1/2" SQUARE TRIM PROFILES AT CORNERS AND DOWNSPOUTS - SQUARE PROFILE. SEE ROOF PLAN FOR LOCATIONS
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12. PROVIDE 1/2" SQUARE TRIM PROFILES AT CORNERS AND DOWNSPOUTS - SQUARE PROFILE. SEE ROOF PLAN FOR LOCATIONS
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14. PROVIDE 1/2" SQUARE TRIM PROFILES AT CORNERS AND DOWNSPOUTS - SQUARE PROFILE. SEE ROOF PLAN FOR LOCATIONS
15. PROVIDE 1/2" SQUARE TRIM PROFILES AT CORNERS AND DOWNSPOUTS - SQUARE PROFILE. SEE ROOF PLAN FOR LOCATIONS

**WINDY RIDGE ELEVATION KEY PLAN**

Architectural seal for the Georgia Professional Engineers Board, State of Georgia, License No. 10566-00, dated 02/21/18.

Project Name: UPPER BUILDING - EXTERIOR ELEVATIONS

Client: Alliance Realty Partners, LLC + Alliance

Address: 2020 Powers Ferry Rd., Atlanta, GA 30339

Scale: 1/8" = 1'-0"

Sheet No.: A201

Revision: 01

DATE: 02/21/18

FOR CONSTRUCTION

**UPPER BUILDING - WEST ELEVATION** (F9)

**UPPER BUILDING - WEST ELEVATION** (F6)

**UPPER BUILDING - WEST ELEVATION** (F1)

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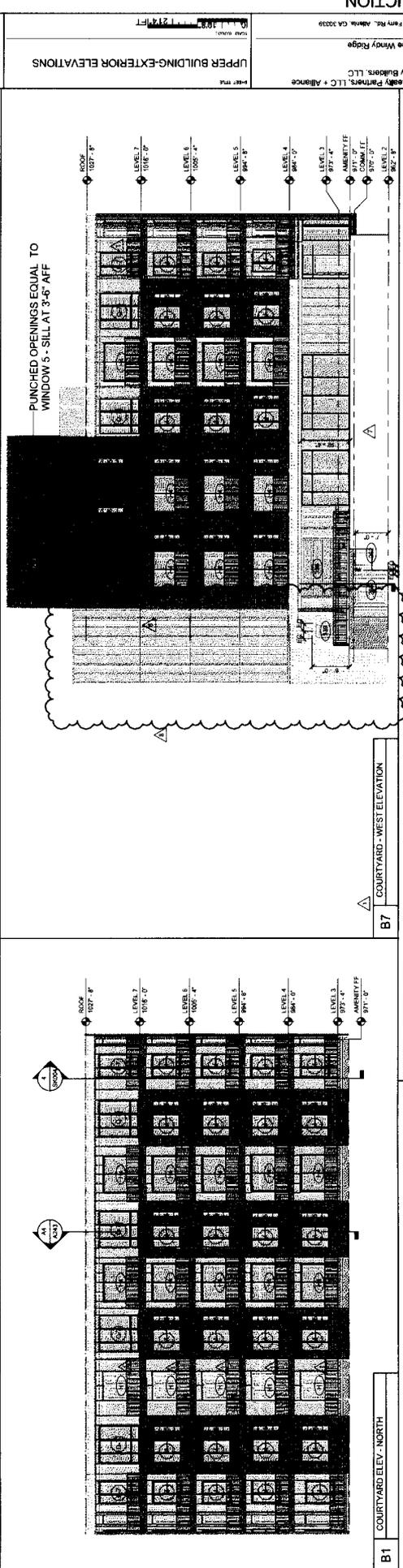
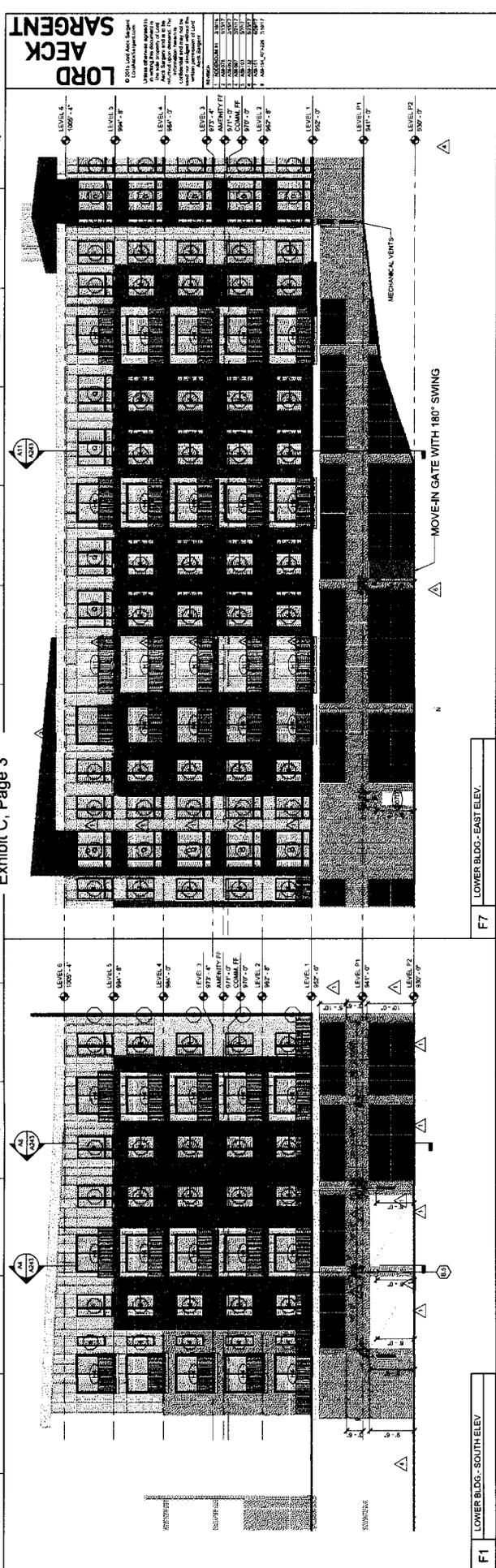
Sheet No.: A201

Revision: 01

DATE: 02/21/18

FOR CONSTRUCTION





**ELEVATION GENERAL NOTES**

- UPGRADE RIGID ALUM EXHAUST LOWER COURTYARD ON NORTH SOUTH WEST FACADE. SEWIO OR TYP ROUND ALUMINUM
- REFER TO ELEVATION MATERIAL SCHEDULE FOR EXTERIOR MATERIAL AND COLOR SELECTION
- ALL EXTERIOR MATERIALS TO BE PROVIDED AND PAINTED TO MATCH EXISTING MATERIALS UNLESS NOTED OTHERWISE
- REFER TO SPECIFICATIONS FOR EXTERIOR COORS, WINDOWS, AND STOREFRONT SYSTEMS
- REFER TO SPECIFICATIONS FOR PAINTED STEEL GUARDRAILS ON ELEVATED BALCONIES TO BE FACEMOUNTED BALCONIES
- PROVIDE PREFINISHED METAL COPING CAP AT ALL PARAPETS, PROVIDE PREFINISHED 3/4" EDGE METAL AT GUTTER LOCATIONS
- LOCATED AT RISER CORNERS, TYP. WINDOW/JOINT LOCATIONS ARE NOTED ON ELEVATIONS. ADDITIONALLY, BRACK EXPANSION JOINTS TO BE
- SEE PART 1.0 FOR WINDOW AND STOREFRONT SCHEDULES

**ELEVATION MATERIAL LEGEND**

- FIBER CEMENT BOARD & BATTEN: SHEPHERD WILLIAMS LIGHT WHITE SW 7014
- FIBER CEMENT BOARD & BATTEN: SHEPHERD WILLIAMS LIGHT YORANGE SW 8622
- FIBER CEMENT LUX-SHINO: DARK GRAY SW 7014, LIGHT GRAY SW 7015, SAND WHITE SW 7016
- FIBER CEMENT TRIM: WHITE
- METAL MESH: PAVING SCREEN, BRICK
- BRICK: 01 - GRAY, 02 - RED, 03 - WHITE, 04 - SAND WHITE SW 7016

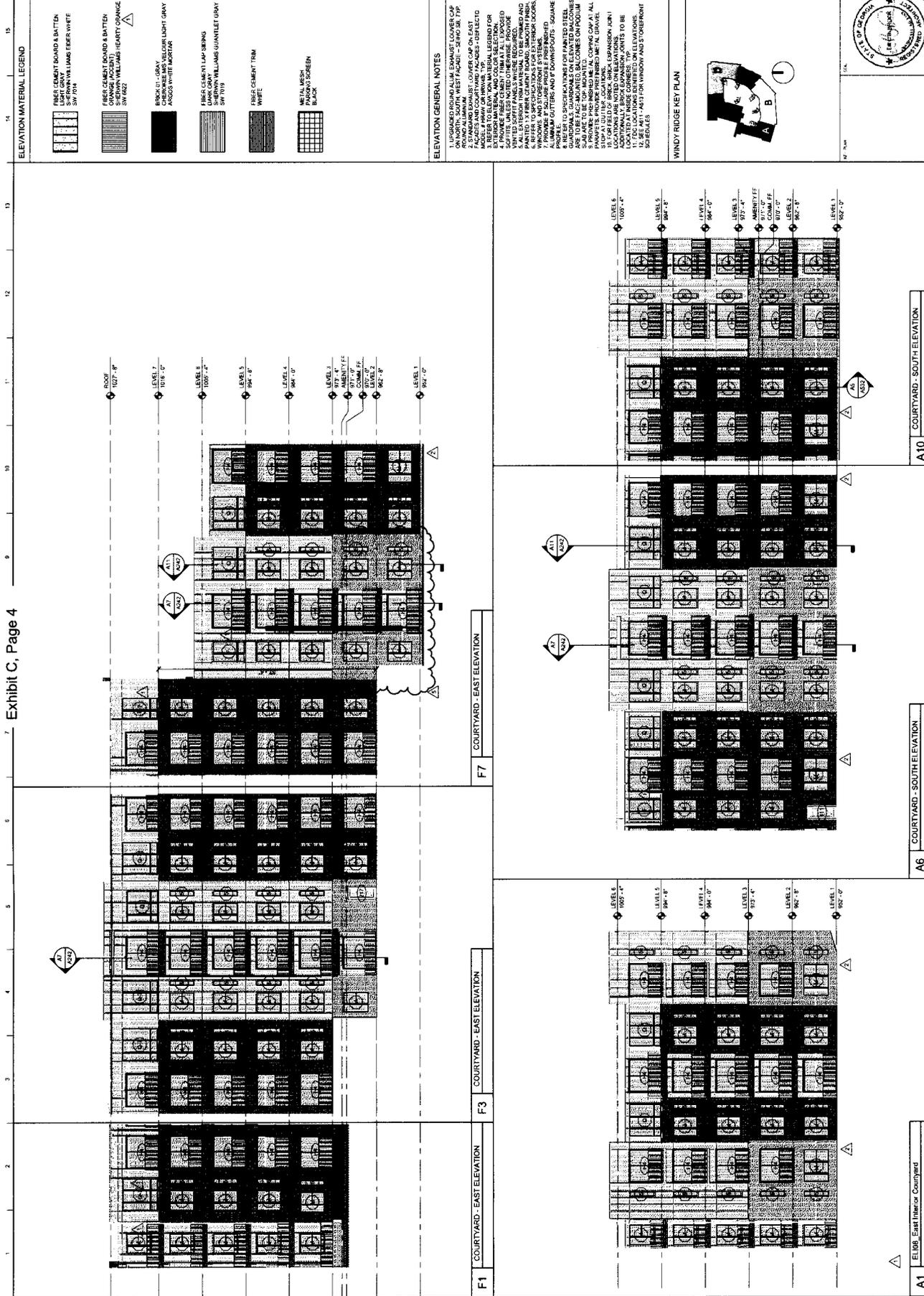
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**WINDY RIDGE KEY PLAN**

**FOR CONSTRUCTION**

DATE: 02/12/16  
 PROJECT: UPPER BUILDING-EXTERIOR ELEVATIONS  
 DRAWING NO: A203  
 SCALE: AS SHOWN  
 PROJECT NO: 10566-00  
 CLIENT: Alliance Realty Partners, LLC + Alliance  
 ARCHITECT: Matherly Builders, LLC  
 2020 Pioneer Way Rd., Alhambra, CA 91803



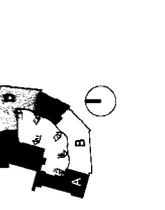
ELEVATION MATERIAL LEGEND

	LIGHT GRAY BOARD & BATTEN SHERWIN WILLIAMS EVEREET WHITE SW 7514
	FIBER CEMENT BOARD & BATTEN SHERWIN WILLIAMS HEARTY ORANGE SW 6622
	SMOOTH WHITE MORTAR SHERWIN WILLIAMS VELLOW LIGHT GRAY ANDOS WHITE MORTAR
	FIBER CEMENT TRIM SHERWIN WILLIAMS QUANTILET GRAY SW 7171
	METAL MESH PATTERNED SCREEN BLACK

ELEVATION GENERAL NOTES

1. ELEVATIONS SHALL BE SHOWN LOCATED CAP ON NORTH, SOUTH WEST FACILITY - SEE NOTE 7.1P
2. STANDARD EXHAUST COVER CAP ON EAST FACILITY - SEE NOTE 7.1P
3. REFER TO ELEVATION MATERIAL LEGEND FOR MATERIAL FINISHES AND FINISHES - OBJECTIC
4. PROVIDE FIBER CEMENT TRIM AT ALL DOOR AND WINDOW SILLINGS AND SMOOTH FINISH PAINTED WITH FIBER CEMENT ROADS, SMOOTH FINISH, WINDOW AND STOREFRONT SYSTEMS.
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WINDY RIDGE KEY PLAN



**FOR CONSTRUCTION**

Brackstone Windy Ridge  
2320 Foothill Farm Rd., Adams, CA 95603

02/12/16  
10556-00  
A204

ALLEN REALTY PARTNERS, LLC  
MULLEN REALTY PARTNERS, LLC

DATE: 02/12/16  
SCALE: AS SHOWN

**LORD AECK SARGENT**

1500 17th St., Suite 100  
Oakland, CA 94612  
Tel: 415.774.1212  
Fax: 415.774.1217

**EXHIBIT D: RETAIL BUILD OUT PLANS**

Alliance Realty Partners, LLC + Alliance Multifamily Builders, LLC

# Broadstone Windy Ridge - Retail Build Out

## CONSTRUCTION SET

3/2/18

LAS Project No. 10566-00

**Lord, Aeck & Sargent, Inc.**  
Architecture/ Interior Design Geotechnical

1175 Peachtree Street NE  
100 Colony Square  
Suite 2400  
Atlanta, GA 30381  
(404) 253-1400  
(404) 253-1401 - Fax

**United Consulting Collaborative, Inc.**  
Civil

625 Hickomb Bridge Road  
Norcross, Georgia 30092  
(770)208-0029  
(770)451-3915 - Fax

**Planners and Engineers Collaborative, Inc.**  
Structural

800 Lambert Drive, Suite H  
Atlanta, Georgia 30324  
(404)751-9801  
(404)262-1669 - Fax

**Ellinwood + Machado, LLC**  
Structural

500 Sugar Mill Road, Building A, Suite 105  
Atlanta, Georgia 30350  
(770)850-9081  
(770)842-2410 - Fax

**Phillips Gradick Engineering**

MFP  
315 West Ponce de Leon Ave, Suite 755  
Decatur, Georgia 30030  
(404)373-7370

**SGN+A Landscape**

### GENERAL LIST

- GENERAL**
- G001C COVER SHEET
- D100C REFERENCE PLAN
- D100E MEASUREMENT PLAN
- D100F LIFE SAFETY PLAN - WHITEBOARD/ MILE MARKER
- ARCHITECTURE**
- A1-001 FLOOR SCHEDULES - FLOOR DETAILS
- A1-002 FLOOR SCHEDULES - CEILING DETAILS
- A1-003 CEILING SCHEDULES - PARTITION PLAN
- A1-004 PARTITION PLAN
- A1-005 WHITEBOARD - MEP
- A1-006 WHITEBOARD - WATER
- A1-007 MILE MARKER - RCP
- MECHANICAL**
- M1-001 GENERAL NOTES AND SCHEDULES
- M1-002 HVAC SCHEDULES
- M1-003 HVAC DETAILS
- M1-004 HVAC DETAILS
- M1-005 HVAC DETAILS - FLOOR PLAN
- M1-006 WHITEBOARD - HVAC - FLOOR PLAN
- M1-007 WHITEBOARD - HVAC - FLOOR PLAN
- M1-008 MILE MARKER - HVAC - FLOOR PLAN
- PLUMBING**
- P1-001 SPECIFICATIONS
- P1-002 SCHEDULES
- P1-003 SCHEDULES - LEGENDS
- P1-004 DETAILS
- P1-005 OUTFITTER - WATER - FLOOR PLAN
- P1-006 OUTFITTER - WATER - FLOOR PLAN
- P1-007 WHITEBOARD - WATER - FLOOR PLAN
- P1-008 WHITEBOARD - WATER - FLOOR PLAN
- P1-009 WHITEBOARD - WATER - FLOOR PLAN
- P1-010 MILE MARKER - WATER - FLOOR PLAN
- ELECTRICAL**
- E1-001 GENERAL NOTES
- E1-002 SCHEDULES
- E1-003 SCHEDULES - LEGENDS
- E1-004 DETAILS
- E1-005 OUTFITTER - LIGHTING - FLOOR PLAN
- E1-006 OUTFITTER - LIGHTING - FLOOR PLAN
- E1-007 MILE MARKER - LIGHTING - FLOOR PLAN
- E1-008 PANEL SCHEDULES

CONSTRUCTION TYPE : IIIA, Sprinklered

- Mandatory Code, 2015 Edition, with Georgia Amendments (2014)
- International Building Code, 2012 Edition, with Georgia Amendments (2014)
- International Fire Code, 2012 Edition, with Georgia Amendments (2014)
- International Plumbing Code, 2012 Edition, with Georgia Amendments (2014)
- International Mechanical Code, 2012 Edition, with Georgia Amendments (2014)
- International Energy Conservation Code, 2012 Edition, with Georgia Amendments (2014)
- National Electrical Code, 2014 Edition, with Georgia Amendments
- National Electrical Code, 2014 Edition, with Georgia Amendments and Amendments (2011) (2012)
- National Electrical Code, 2014 Edition, with Georgia Amendments (2014)
- National Electrical Code, 2014 Edition, with Georgia Amendments (2014)
- National Green Building Standard, 2008 Edition, with Georgia Amendments (2009)
- National Green Building Standard, 2008 Edition, with Georgia Amendments (2011)
- Accessibility: Guidelines Act, Accessibility Guidelines - Standards for Accessible Design, 2010 Edition
- Life Safety Code (NFPA 101), 2012 Edition, with Georgia Amendments (2014)
- Life Safety Code (NFPA 101), 2012 Edition, with Georgia Amendments (2014)
- Life Safety Code (NFPA 101), 2012 Edition, with Georgia Amendments (2014)
- NFPA 13, 2013 Edition



**G001C**

FOR CONSTRUCTION

COVER SHEET

**LORD AECK SARGENT**

Exhibit D, Page 1

2025/03/01 09:28 AM







**LORD AECK SARGENT**  
 6100 Lord Ave  
 Suite 200  
 San Francisco, CA 94103  
 Phone: (415) 774-2000  
 Fax: (415) 774-2001  
 www.lordsack.com

Unless otherwise specified, all materials shall be of the highest quality and shall conform to the requirements of the applicable building codes and standards. The contractor shall be responsible for obtaining all necessary permits and approvals for the work shown on these drawings.

DATE: 08/15/11  
 DRAWN: [Name]  
 CHECKED: [Name]  
 APPROVED: [Name]

FOR CONSTRUCTION

Brookstone Windy Ridge  
 2025 Powers Ferry Rd., Alpharetta, GA 30205

MultiFamily Builders, LLC + Alliance  
 3/2/18  
 10596-00



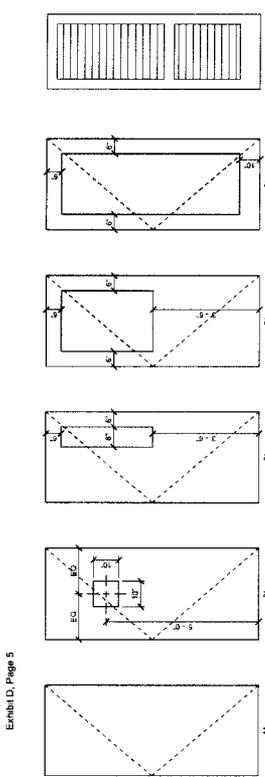
**JA-008C**

DOOR SCHEDULE, STAIR DETAILS

SHEET SPECIFIC NOTES

MATERIAL KEYNOTES

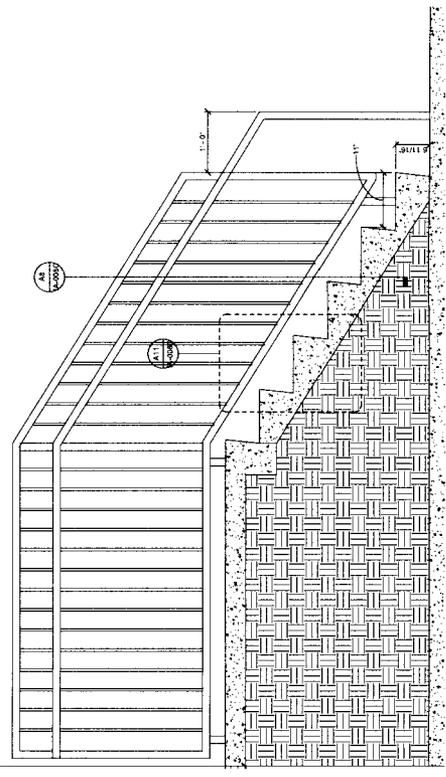
GENERAL NOTES



DOOR ELEVATION TYPES

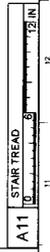
COMMERCIAL DOOR SCHEDULE								
Door No.	LAS Door Type	Width	Height	Door Material	Finish	Frame Material	Fire Rating	Description
001	A.1	4'-0"	8'-0"	ALUM	FF	ALUM		Emergency exit device
323	A.1	3'-0"	7'-0"	WD	PT	HM	45 MIN	Emergency exit device
324	A.1	3'-0"	7'-0"	WD	PT	HM	45 MIN	Emergency exit device
325	A.1	3'-0"	7'-0"	WD	PT	HM	45 MIN	Emergency exit device
500P9	E.1	3'-0"	7'-0"	WD	PT	HM		
500Q2	E.1	3'-0"	7'-0"	WD	PT	HM		
500Q3	E.1	3'-0"	7'-0"	WD	PT	HM		
500Q4	E.1	3'-0"	7'-0"	WD	PT	HM		
500Q5	E.1	3'-0"	7'-0"	WD	PT	HM		
500Q6	E.1	3'-0"	7'-0"	WD	PT	HM		
500Q7	E.1	3'-0"	7'-0"	WD	PT	HM		
500Q8	E.1	3'-0"	7'-0"	WD	PT	HM		
500Q9	E.1	3'-0"	7'-0"	WD	PT	HM		
500Q10	E.1	3'-0"	7'-0"	WD	PT	HM		
500Q11	E.1	3'-0"	7'-0"	WD	PT	HM		
500Q12	E.1	3'-0"	7'-0"	WD	PT	HM		
500Q13	E.1	3'-0"	7'-0"	WD	PT	HM		
500Q14	E.1	3'-0"	7'-0"	WD	PT	HM		
500Q15	E.1	3'-0"	7'-0"	WD	PT	HM		
500Q16	E.1	3'-0"	7'-0"	WD	PT	HM		
500Q17	E.1	3'-0"	7'-0"	WD	PT	HM		
500Q18	E.1	3'-0"	7'-0"	WD	PT	HM		
500Q19	E.1	3'-0"	7'-0"	WD	PT	HM		
500Q20	E.1	3'-0"	7'-0"	WD	PT	HM		

NOTE: ALL RATED DOORS SHALL BE EQUIPPED WITH A CLOSER AND POSITIVE LATCH.

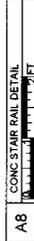


A8 CONCR STAIR RAIL DETAIL

A1 SECTION-STAIR



A11 STAIR TREAD



A1 SECTION-STAIR

SCALE: 1/2" = 1'-0"

DATE	DESCRIPTION
10/20/18	ISSUE FOR PERMIT
10/20/18	ISSUE FOR CONSTRUCTION
10/20/18	ISSUE FOR RECORD
10/20/18	ISSUE FOR AS-BUILT
10/20/18	ISSUE FOR FINAL

**GENERAL NOTES**

A. U.N.O. ALL INTERIOR WALL TYPES TO BE (U.N.O. IS-M-W).

B. U.N.O. ALL RATED WALLS TO BE (U.N.O. REFER TO ARCHITECTURAL PLANS FOR RATED WALL LOCATIONS).

C. U.N.O. ALL INTERIOR WALL TYPES TO BE (U.N.O. IS-M-W).

D. U.N.O. ALL INTERIOR WALL TYPES TO BE (U.N.O. IS-M-W).

E. U.N.O. ALL INTERIOR WALL TYPES TO BE (U.N.O. IS-M-W).

F. U.N.O. ALL INTERIOR WALL TYPES TO BE (U.N.O. IS-M-W).

G. U.N.O. ALL INTERIOR WALL TYPES TO BE (U.N.O. IS-M-W).

H. U.N.O. ALL INTERIOR WALL TYPES TO BE (U.N.O. IS-M-W).

I. U.N.O. ALL INTERIOR WALL TYPES TO BE (U.N.O. IS-M-W).

J. U.N.O. ALL INTERIOR WALL TYPES TO BE (U.N.O. IS-M-W).

K. U.N.O. ALL INTERIOR WALL TYPES TO BE (U.N.O. IS-M-W).

L. U.N.O. ALL INTERIOR WALL TYPES TO BE (U.N.O. IS-M-W).

M. U.N.O. ALL INTERIOR WALL TYPES TO BE (U.N.O. IS-M-W).

N. U.N.O. ALL INTERIOR WALL TYPES TO BE (U.N.O. IS-M-W).

O. U.N.O. ALL INTERIOR WALL TYPES TO BE (U.N.O. IS-M-W).

P. U.N.O. ALL INTERIOR WALL TYPES TO BE (U.N.O. IS-M-W).

Q. U.N.O. ALL INTERIOR WALL TYPES TO BE (U.N.O. IS-M-W).

R. U.N.O. ALL INTERIOR WALL TYPES TO BE (U.N.O. IS-M-W).

S. U.N.O. ALL INTERIOR WALL TYPES TO BE (U.N.O. IS-M-W).

T. U.N.O. ALL INTERIOR WALL TYPES TO BE (U.N.O. IS-M-W).

U. U.N.O. ALL INTERIOR WALL TYPES TO BE (U.N.O. IS-M-W).

V. U.N.O. ALL INTERIOR WALL TYPES TO BE (U.N.O. IS-M-W).

W. U.N.O. ALL INTERIOR WALL TYPES TO BE (U.N.O. IS-M-W).

X. U.N.O. ALL INTERIOR WALL TYPES TO BE (U.N.O. IS-M-W).

Y. U.N.O. ALL INTERIOR WALL TYPES TO BE (U.N.O. IS-M-W).

Z. U.N.O. ALL INTERIOR WALL TYPES TO BE (U.N.O. IS-M-W).

**OUTFITTERS - PARTITION PLAN**

**SHEET SPECIFIC NOTES**

**FOR CONSTRUCTION**

2020 Powers Ferry Rd. Atlanta, GA 30339

Brookstone Wendy Ridge

Atlanta Realty Partners, LLC + Alliance

MultiFamily Builders, LLC

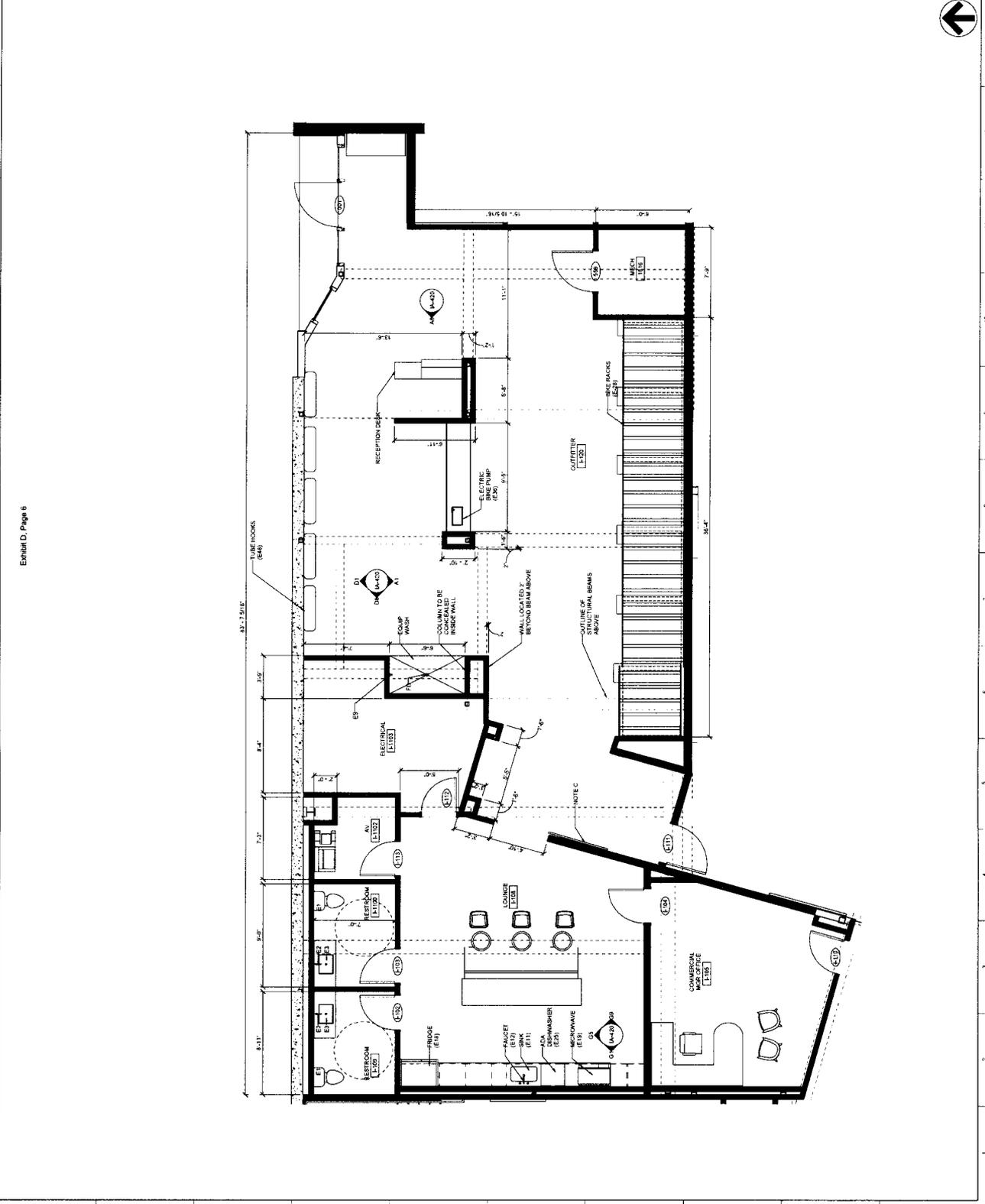
PROJECT NO. 10986-00

DATE 2/2/18

IA-401



**MATERIAL KEYNOTES**



**LORD  
AECK  
SARGENT**

1000 Power Entry Rd., Alhambra, CA 91803  
 626-256-8800  
 www.lordaeck.com

DATE	DESCRIPTION
03/27/18	ISSUED FOR PERMIT
03/27/18	ISSUED FOR CONSTRUCTION
03/27/18	ISSUED FOR PERMIT

**GENERAL NOTES**  
 A. CEILING HEIGHT MAY ADJUST FOR STRUCTURE

**SHEET SPECIFIC NOTES**

**OUTFITTERS - RCP**

**FOR CONSTRUCTION**



MATERIAL KEYNOTES

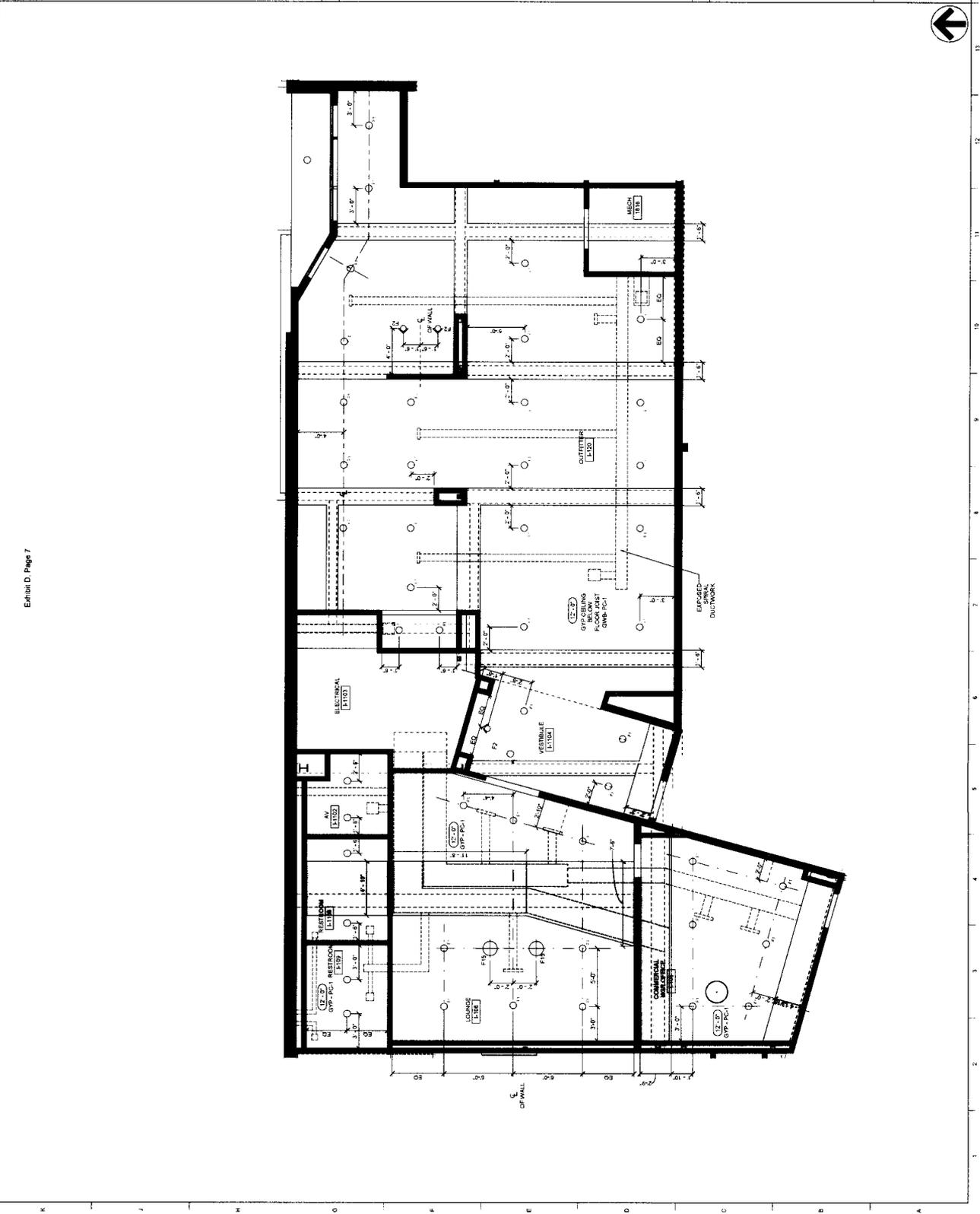
GENERAL NOTES  
 A. CEILING HEIGHT MAY ADJUST FOR STRUCTURE

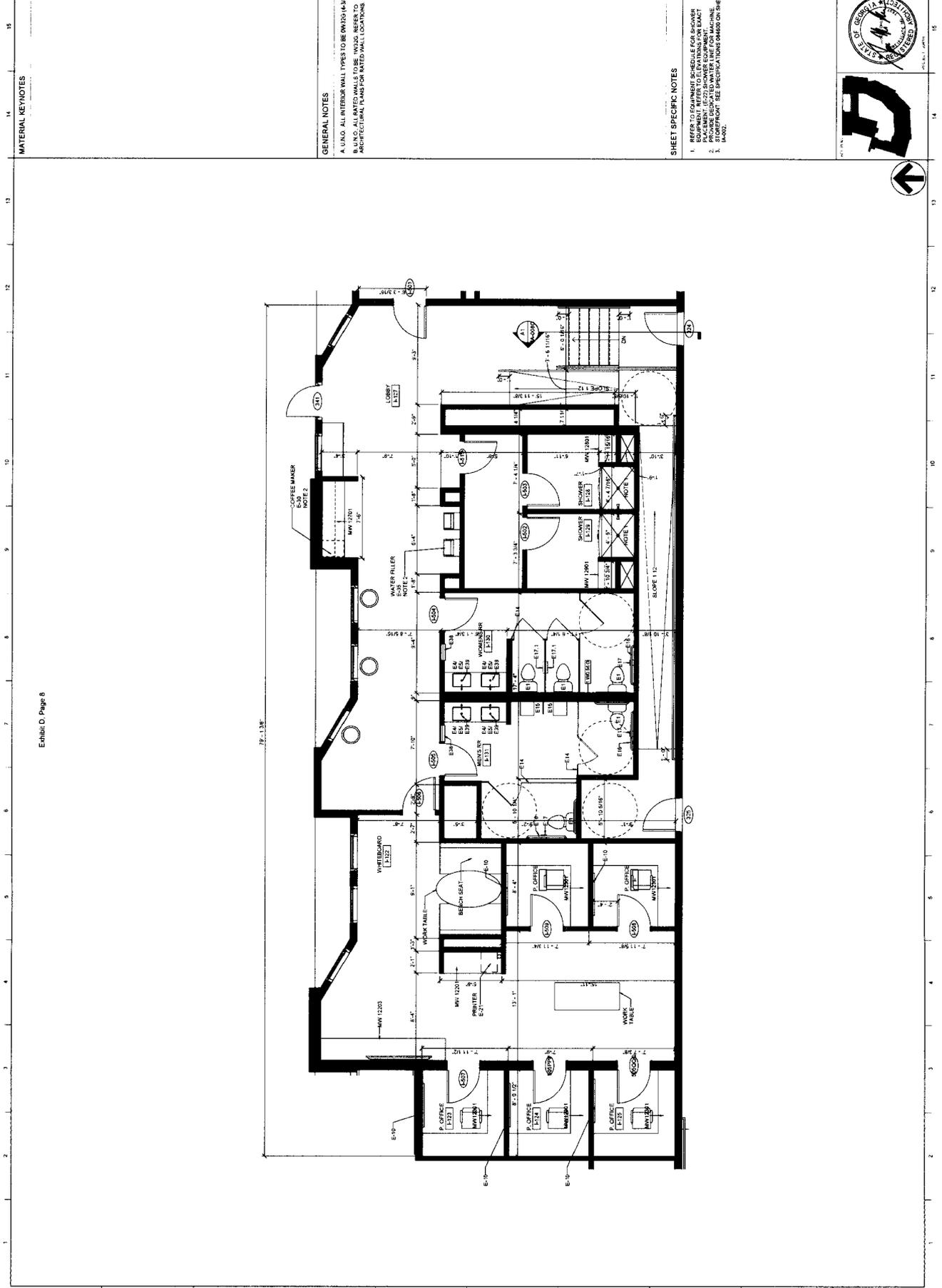
SHEET SPECIFIC NOTES

OUTFITTERS - RCP

FOR CONSTRUCTION

Exhibit D Page 7





MATERIAL KEYNOTES

**LORD  
AECK  
SARGENT**

NO.	DESCRIPTION	QUANTITY	UNIT	PRICE
1	...	...	...	...
2	...	...	...	...
3	...	...	...	...
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7	...	...	...	...
8	...	...	...	...
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12	...	...	...	...
13	...	...	...	...
14	...	...	...	...
15	...	...	...	...

**GENERAL NOTES**

A. UNO. ALL INTERIOR WALL TYPES TO BE (M170) (M-W1)

B. UNO. ALL RATED WALLS TO BE (W02). REFER TO ARCHITECTURAL PLANS FOR RATED WALL LOCATIONS

**SHEET SPECIFIC NOTES**

1. REFER TO EQUIPMENT SCHEDULE FOR SHOWER PLACEMENT. (E22) SHOWER EQUIPMENT.
2. REFER TO EQUIPMENT SCHEDULE FOR BATHROOM PLACEMENT. (E23) BATHROOM EQUIPMENT.
3. STORAGE. SEE INDICATIONS ON DRAWING SHEET 10400.

FOR CONSTRUCTION

**WHITEBOARD - PARTITION PLAN**

Alfonse Realty Partners, LLC + Alliance  
 Multifamily Builders, LLC  
 Broadstone Windy Ridge  
 2020 Powers Ferry Rd. Atlanta, GA 30339



**IA-501**



Exhibit D, Page 8



**IA-505**

DATE: 10/27/18  
 PROJECT: 10986-00  
 ADDRESS: 2025 Powers Ferry Rd., Atlanta, GA 30329

**FOR CONSTRUCTION**

Whiteboard - RCP  
 Modularity Builders, LLC + Alliance  
 Alliance Realty Partners, LLC + Alliance  
 Modularity Builders, LLC + Alliance  
 Broadstone Windy Ridge  
 2025 Powers Ferry Rd., Atlanta, GA 30329

WHITEBOARD - RCP

**LORD AECK SARGENT**

1000 Peachtree Street, N.E.  
 Atlanta, Georgia 30309  
 Phone: 404.525.8000  
 Fax: 404.525.8001  
 Website: www.lordsack.com

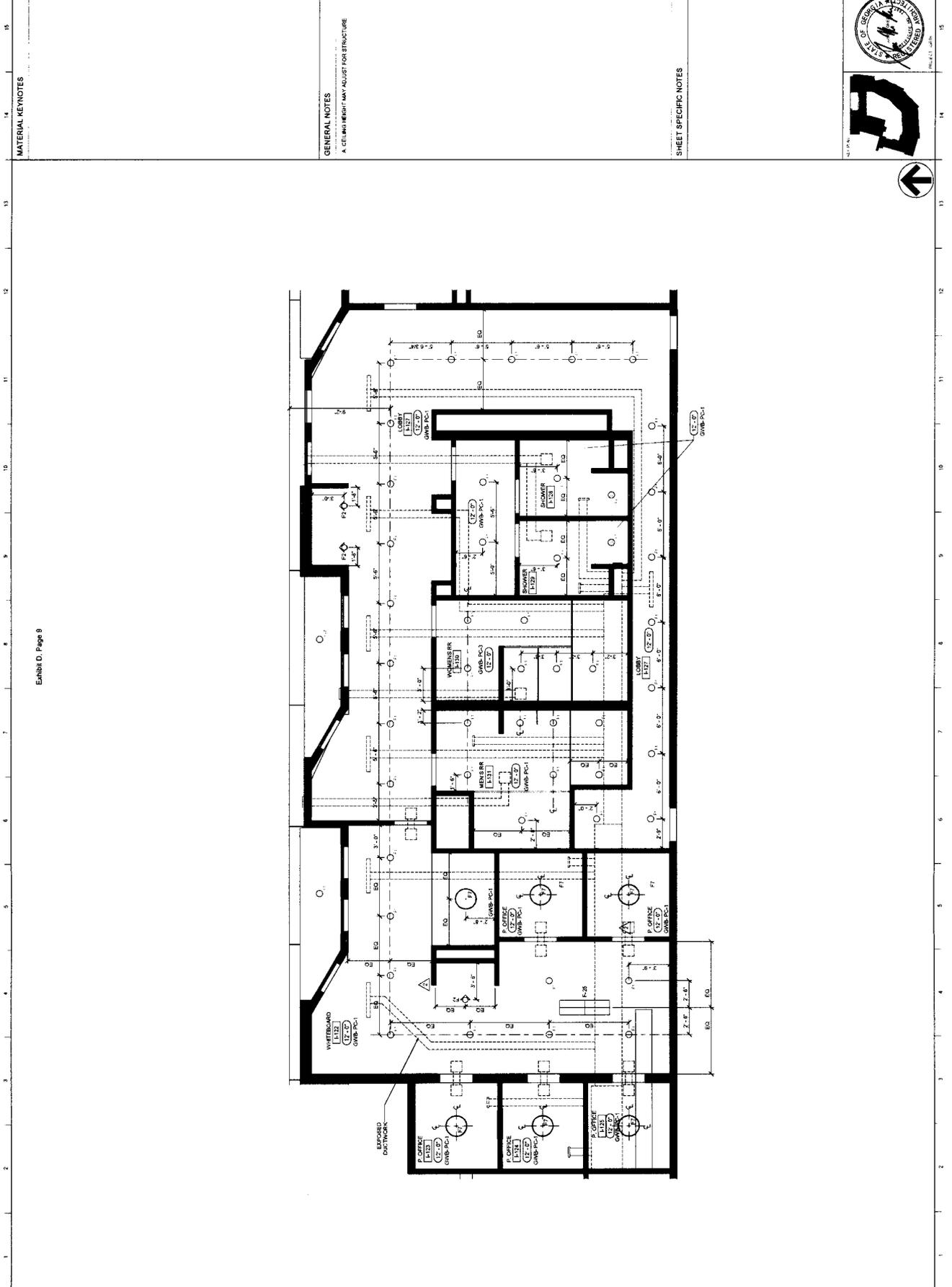
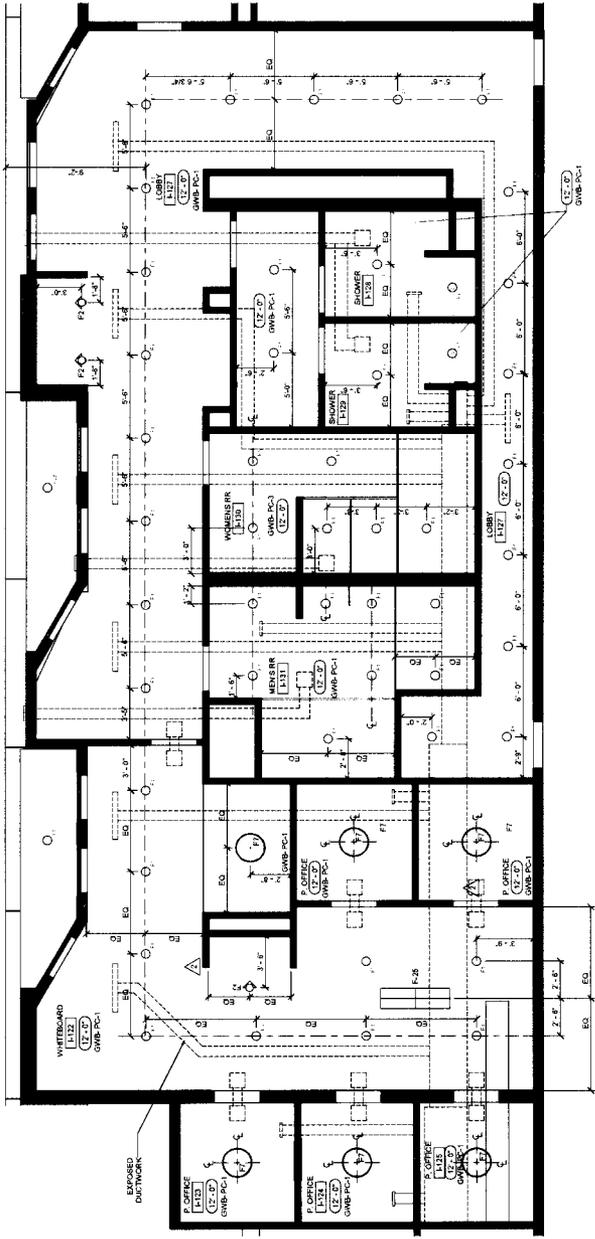
MATERIAL KEYNOTES

GENERAL NOTES  
 A. CEILING HEIGHT MAY ADJUST FOR STRUCTURE

SHEET SPECIFIC NOTES



Exhibit D, Page 8



**LORD  
AECK  
SARGENT**

© 2018 Lord Aeck Sargent  
 1000 Peachtree Street, N.E.  
 Atlanta, Georgia 30309  
 Phone: 404.524.2000  
 Fax: 404.524.2001  
 www.lordsargent.com

DATE	DESCRIPTION
07/27/18	ISSUED FOR PERMITS
07/27/18	ISSUED FOR CONSTRUCTION
07/27/18	ISSUED FOR PERMITS
07/27/18	ISSUED FOR CONSTRUCTION

**GENERAL NOTES**

A. UNDO ALL INTERIOR WALL TYPES TO BE REMOVED (A, B, C).

B. UNDO ALL INTERIOR WALL TYPES TO BE ADDED (A, B, C).

C. DIMENSIONS HAVE BEEN UPDATED.

**MILE MARKER - PARTITION PLAN**

SCALE: 1/8" = 1'-0"

**FOR CONSTRUCTION**

2020 Peachtree Ferry Rd., Atlanta, GA 30339

Project No. 10566-00

Issue No. 02/2/18

Project Name: Mile Marker - Partitions

Client: Alliance Realty Partners, LLC + Alliance Multifamily Builders, LLC

Project No. IA-601



**MATERIAL KEYNOTES**

**SHEET SPECIFIC NOTES**

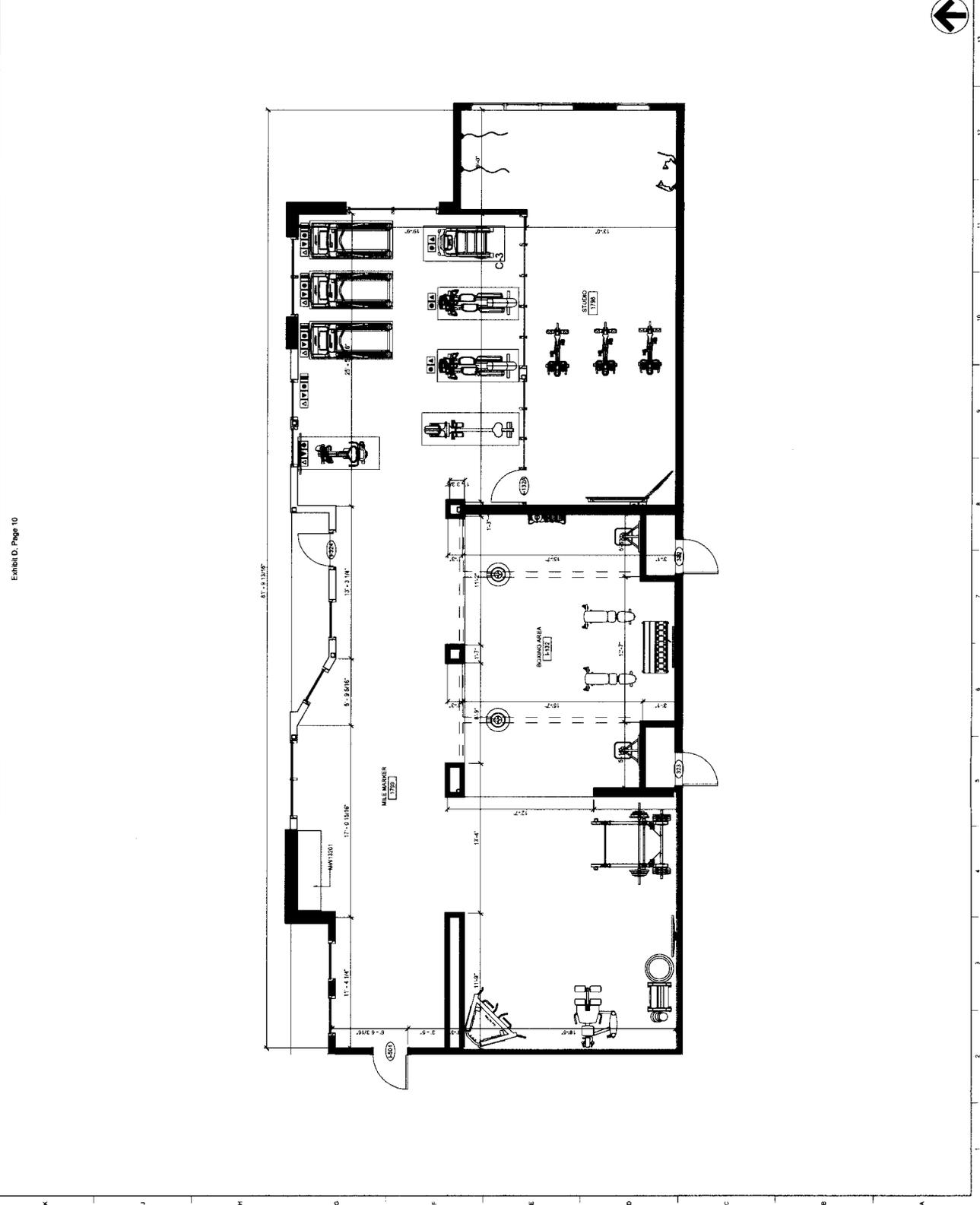


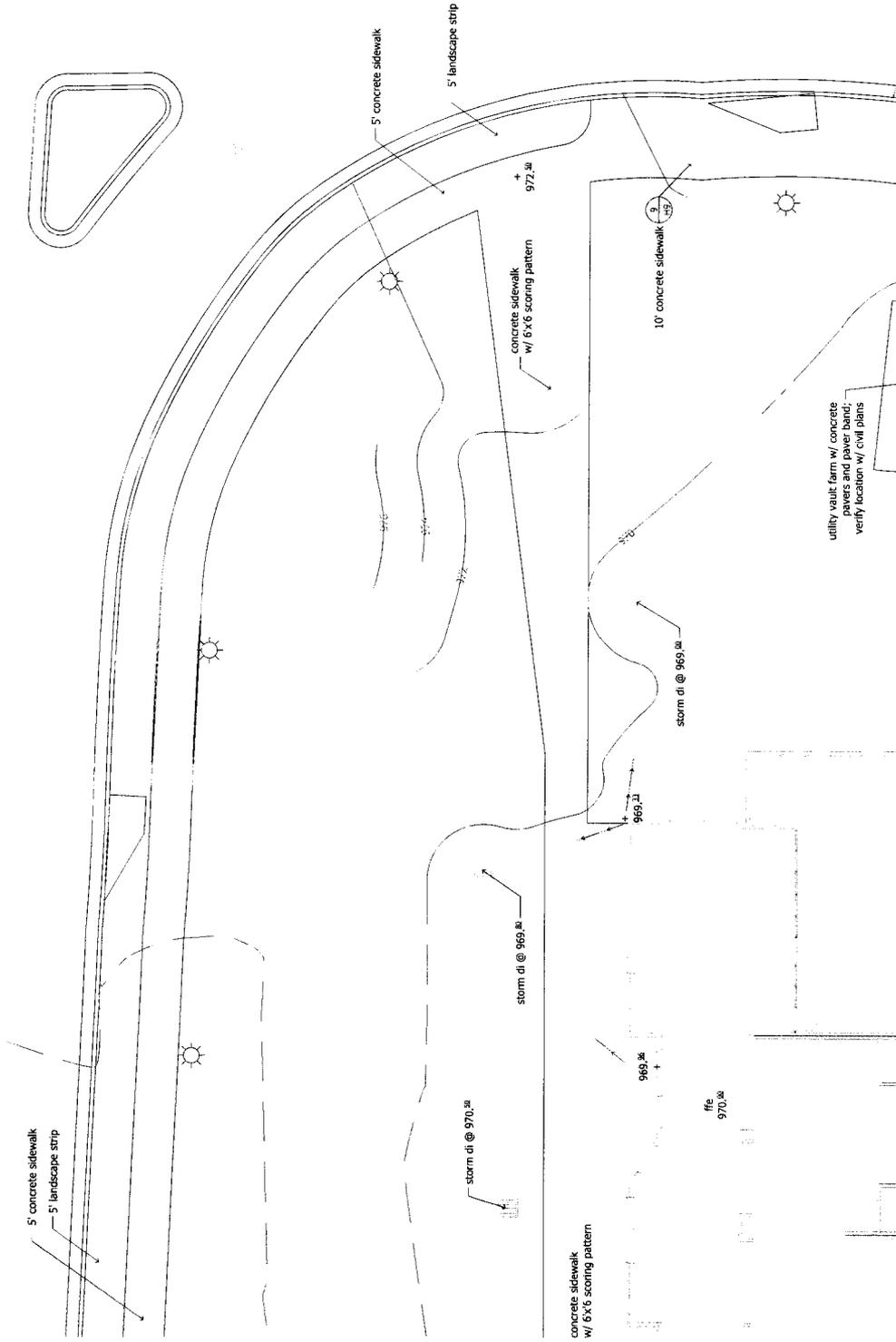
Exhibit D, Page 10



**EXHIBIT E: CONCEPT FOR PEDESTRIAN CORNER PARK**

# CURRENT CORNER PLAN

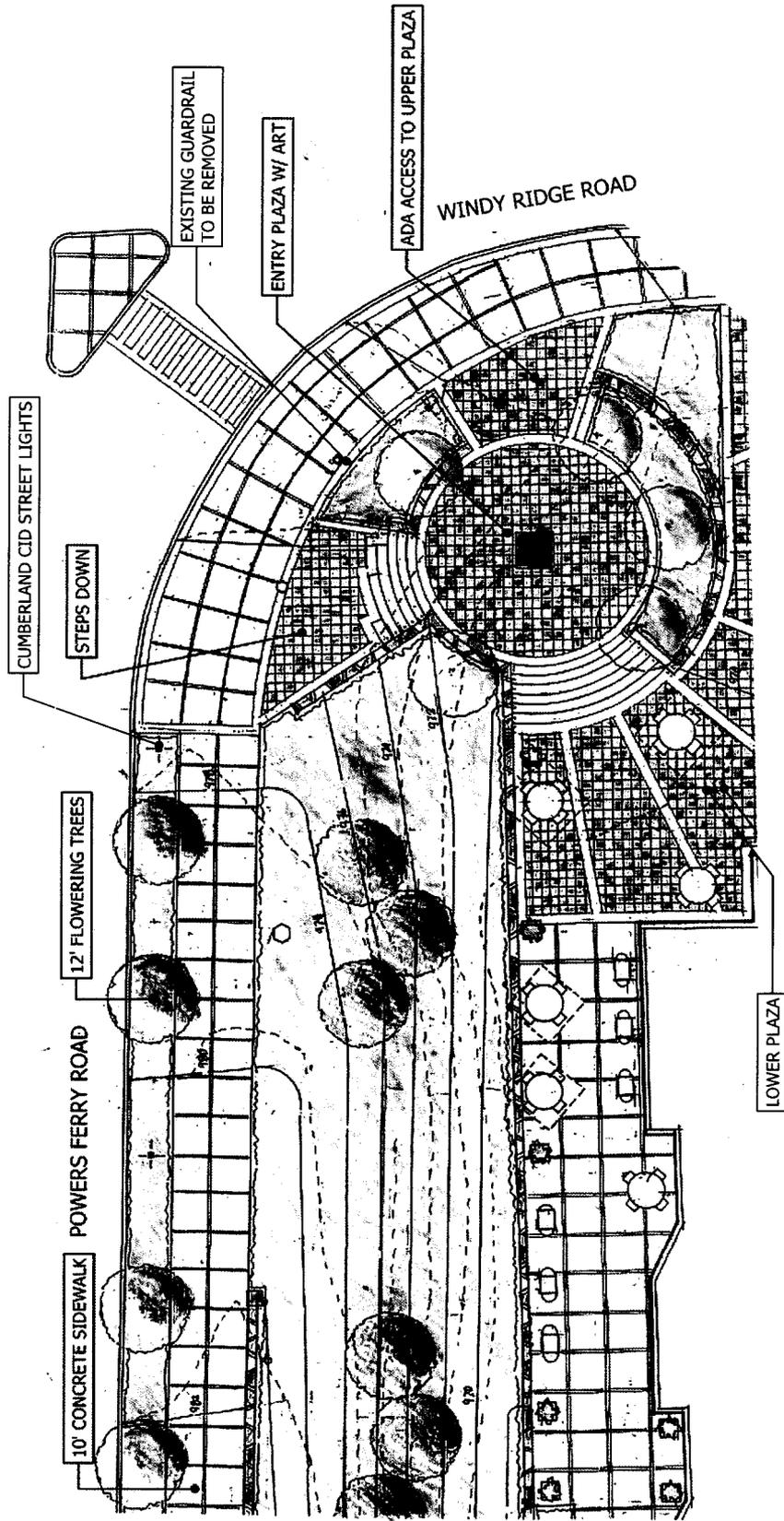
Exhibit E, Page 1





# PROPOSED CORNER PARK RENDERED

Exhibit E, Page 3



**EXHIBIT F: CURRENT SITE PLANS WITH AREA FOR CORNER PARK IDENTIFIED**

Exhibit F, Page 1

**POWERS FERRY ROAD  
(R/W VARIES)**

**AREA TO BE REVISED PER  
PROPOSED PARK PLAN**

**BROADSTONE WINDY RIDGE**  
A MULTI-FAMILY DEVELOPMENT  
FOR  
ALLIANCE RESIDENTIAL COMPANY  
17th District  
1000 County  
Atlanta, Georgia 30307  
Phone: 404-212-1200

**PLANNERS AND ENGINEERS COLLABORATIVE**  
THE PROVIDE SOLUTIONS™  
SITE PLANNING & LANDSCAPE ARCHITECTURE & CIVIL ENGINEERING & LAND SURVEYING  
390 RESEARCH COURT • NORCROSS, GEORGIA 30092 • 404-279-5127 • FAX 404-279-5198 • WWW.PEACATL.COM

**REVISIONS:**

NO.	DATE	BY	DESCRIPTION
1			
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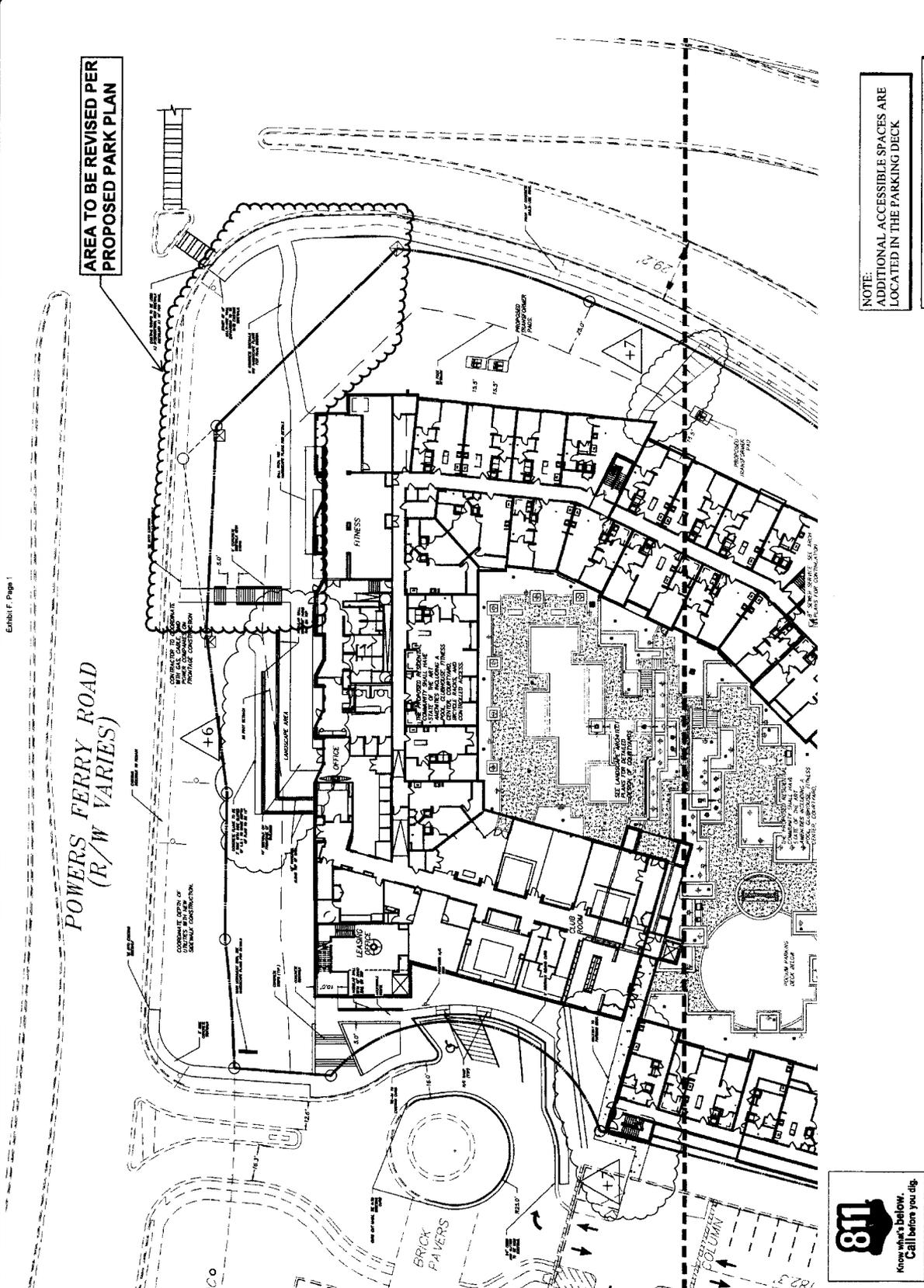
**SITE PLAN  
20-SCALE**

SCALE: 1" = 20'  
DATE: SEPTEMBER 29, 2015  
PROJECT: 83027.18F

1" = 20'  
0 10 20

**811**  
Know what's below.  
Call before you dig.

**24 HOUR CONTACT:  
WAYNE EDY @ 404-867-9734**



**NOTE:**  
ADDITIONAL ACCESSIBLE SPACES ARE  
LOCATED IN THE PARKING DECK

**NOTE:**  
ACCESS AGREEMENT FOR CONSTRUCTION  
OF ROAD AND DECK PARKING BETWEEN  
SITE AND OFFICE DEVELOPMENT IS IN  
PLACE FOR THE PROPOSED USE

**811**  
Know what's below.  
Call before you dig.

**24 HOUR CONTACT:  
WAYNE EDY @ 404-867-9734**

**PROFESSIONAL SEAL**  
1-16-18

**BROADSTONE WINDY RIDGE**  
 A MULTI-FAMILY DEVELOPMENT  
 FOR  
**ALLIANCE RESIDENTIAL COMPANY**  
 2715 HICKORY PARK  
 ATLANTA, GEORGIA 30327  
 PHONE: 404-867-9734  
 LAND LOT 985 & 1008  
 0288 COUNTY CORNER

**PLANNERS AND ENGINEERS COLLABORATIVE**  
 "WE PROVIDE SOLUTIONS"  
 SITE PLANNING & LANDSCAPE ARCHITECTURE & CIVIL ENGINEERING & LAND SURVEYING  
 350 RESBACH COURT #100 CROSS, GEORGIA 30092 • (770) 451-7414 FAX: (770) 451-9918 • WWW.PECL.COM

**REVISIONS:**

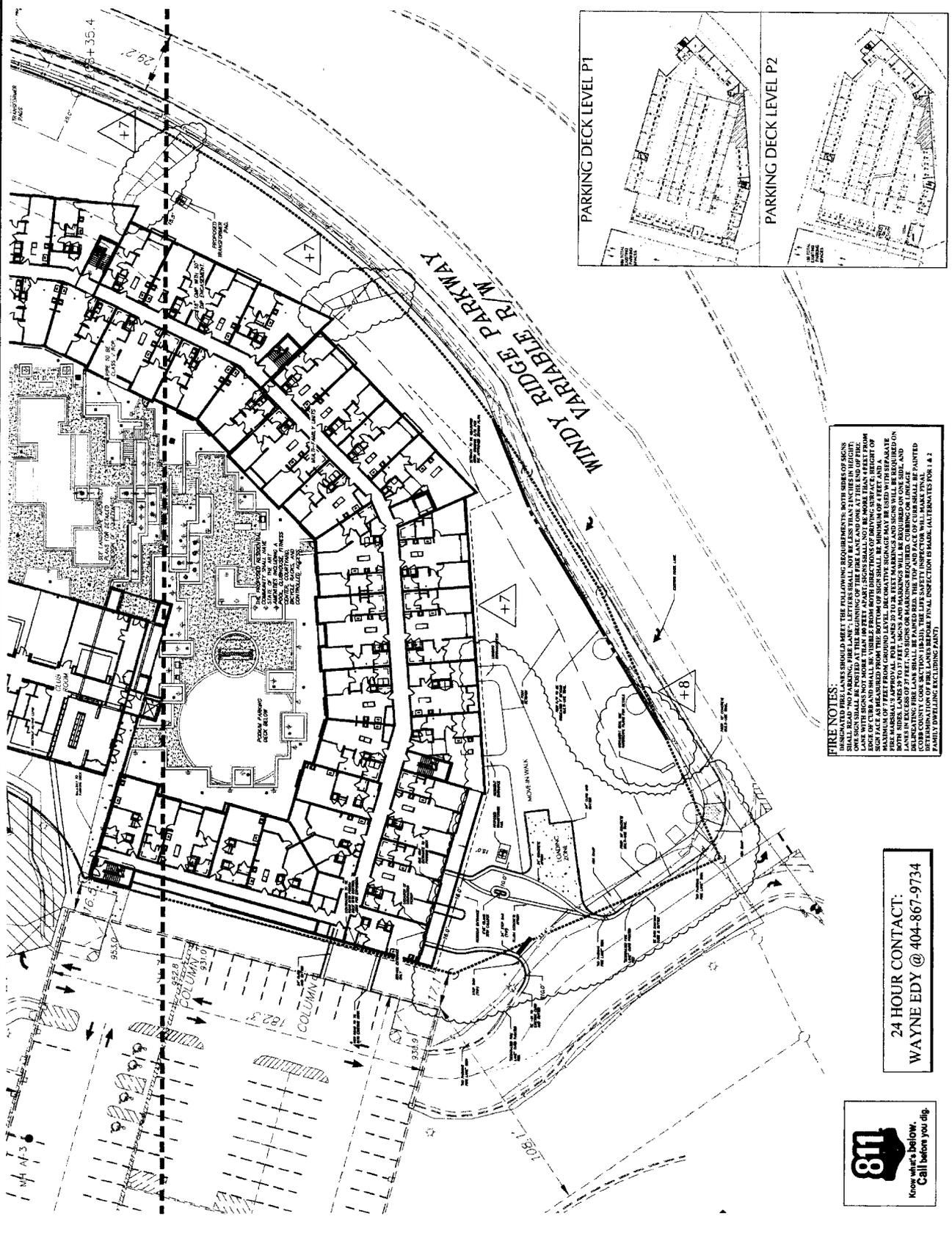
NO.	DATE	BY	DESCRIPTION
1	11/10/17	JRC	SCHEMATIC DEVELOPMENT
2	01/16/18	JRC	PERMANENT SIGN
3			NOT

**SITE PLAN**  
**20-SCALE**

SCALE: 1" = 20'  
 DATE: SEPTEMBER 29, 2015  
 PROJECT: 830718F

REGISTERED PROFESSIONAL ENGINEER  
 1-16-18  
 518







Revisions:

Date	Description
5/22/2017	Client Feedback
2/22/2016	Client Feedback

**Broadstone  
 Windy  
 Ridge**

Atlanta, Georgia

A Residential Development by  
 Alliance Realty  
 Partners, LLC  
 Alliance Multifamily  
 Builders, LLC

This drawing as an instrument of  
 services, is and shall remain the  
 property of SGN+A and shall not  
 be reproduced, stored in a retrieval  
 system, or transmitted in any way  
 without permission of  
 SGN+A, Inc.

Sheet Title:  
 Tree Permit Plan

Date:  
 12 February 2016

Sheet Number:



AREA TO BE REVISED PER  
 PROPOSED PARK PLAN



Exhibit F, Page 3

SITE DATA:	
TOTAL SITE AREA	3.14 ACRES
ZONING	OSR (2/23/1990)
EXISTING ZONING	OSR (2/23/1990)
EXISTING JURISDICTION	COBB COUNTY
DENSITY CALCULATIONS:	
TOTAL UNITS	98 UNITS
TOTAL DENSITY	95.54 UNITS/ACRE
SETBACKS:	
FRONT YARD SETBACK (MINIMUM)	25 FEET
REAR YARD SETBACK (MINIMUM)	10 FEET
SIDE YARD SETBACK (MINIMUM)	5 FEET
PARKING CALCULATIONS:	
EXISTING PARKING DECK SPACES	19 SPACES
NEW PARKING DECK SPACES	79 SPACES
TOTAL SPACES PER UNIT PROVIDED	1.15 SPACES/UNIT

**Site Plan Notes:**

No permanent sign(s), flag pole(s), proposed fire hydrants or power transformers will be placed in conflict with an ordinance coded or approved tree planting location. The Cobb County Arborist or Landscape Architect must approve the site lighting plan. Light poles are not permitted in parking peninsulas, islands and medians without the prior approval of the County Arborist. 20' minimum spacing is required between the trunk of any proposed over-story hardwood tree (or existing tree counted for tree ordinance credit) and any existing or proposed light pole. If the service provider (electric company) produces a lighting plan, it must adhere to the lighting plan shown in the civil engineering drawings approved by Cobb County for the land disturbance permit. If a lighting plan is not part of the civil drawings, the lighting plan designer must submit a plan to the Arborist/Landscape Architect for review and approval. If site lighting is installed without an approved plan, the Certificate of Occupancy will be withheld until all conflicting power poles are moved. Call 770-528-2124.

The site contractor shall coordinate service routing of all gas, telephone and electrical lines with the appropriate utility company. All construction shall be in accordance with all utility standards and specifications and not interfere with tree planting sites or existing trees to be preserved.

Tree Species	Quantity	Notes
Red Oak	1	1.00
White Oak	1	1.00
Live Oak	1	1.00
Flowering Dogwood	1	1.00
Swamp White Birch	1	1.00
Red Maple	1	1.00
White Birch	1	1.00
Black Gum	1	1.00
Water Hickory	1	1.00
Black Alder	1	1.00
Red Maple	1	1.00
White Birch	1	1.00
Black Gum	1	1.00
Water Hickory	1	1.00
Black Alder	1	1.00
Red Maple	1	1.00
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**MINUTES OF ZONING HEARING  
COBB COUNTY BOARD OF COMMISSIONERS  
JUNE 16, 2015  
9:00 A.M.**

The Board of Commissioners Zoning Hearing was held on Tuesday, June 16, 2015 at 9:00 a.m. in the second floor public meeting room of the Cobb County building, Marietta, Georgia. Present and comprising a quorum of the Board were:

Chairman Tim Lee  
Commissioner JoAnn Birrell  
Commissioner Lisa Cupid  
Commissioner Bob Ott  
Commissioner Bob Weatherford

**Z-27**

**LYNWOOD DEVELOPMENT GROUP, LLC** (BSD Power II, LLC and Park Point Land, LLC, owners) requesting Rezoning from **OHR** to **UVC** for the purpose of Mixed Use in Land Lots 985 and 1008 of the 17<sup>th</sup> District. Located at the southwest intersection of Powers Ferry Road and Windy Ridge Parkway. *(Previously continued by the Board of Commissioners from their March 17, 2015 hearing, previously continued by Staff from the April 21, 2015 Board of Commissioners' hearing and previously held by the Board of Commissioners from their May 19, 2015 hearing)*

The public hearing was opened and Mr. Kevin Moore, Mr. Todd Oglesby, Mr. Charles Coffin, and Ms. Maryli Marcos addressed the Board. Following presentation and discussion, the following motion was made:

MOTION: Motion by Ott, second by Birrell, to **hold** Z-27 until the July 21, 2015 Board of Commissioners Zoning Hearing.

VOTE: **FAILED** 2-3, Lee, Cupid, Weatherford opposed

**SUBSTITUTE MOTION**

MOTION: Motion by Weatherford, second by Lee, to **approve** Z-27 to the **UVC** zoning category, subject to:

- Site plan submitted to the Zoning Division on April 16, 2015, with the District Commissioner approving minor modifications (attached and made part of these minutes)
- Letter of agreeable conditions from Mr. Kevin Moore dated April 16, 2015 (attached and made a part of these minutes), including an amendment to the letter titled "*Proposed Stipulations*" submitted at this hearing (attached and made a part of these minutes)
- Water and Sewer Division comments and recommendations, *not otherwise in conflict*
- Stormwater Management Division comments and recommendations, *not otherwise in conflict*

**MINUTES OF ZONING HEARING  
COBB COUNTY BOARD OF COMMISSIONERS  
JUNE 16, 2015  
9:00 A.M.**

The Board of Commissioners Zoning Hearing was held on Tuesday, June 16, 2015 at 9:00 a.m. in the second floor public meeting room of the Cobb County building, Marietta, Georgia. Present and comprising a quorum of the Board were:

Chairman Tim Lee  
Commissioner JoAnn Birrell  
Commissioner Lisa Cupid  
Commissioner Bob Ott  
Commissioner Bob Weatherford

**REGULAR AGENDA (CONT.)**

**Z-27            LYNWOOD DEVELOPMENT GROUP, LLC (CONT.)**

- **Cobb DOT comments and recommendations, *not otherwise in conflict***
- **Owner/developer to enter into a Development Agreement pursuant to O.C.G.A. §36-71-13 for dedication of system improvements to mitigate traffic concerns**

**VOTE: ADOPTED 4-1, Ott opposed**



# MOORE INGRAM JOHNSON & STEELE

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JOHN H. MOORE  
STEPHEN C. STEELE  
WILLIAM R. JOHNSON†  
ROBERT D. INGRAM†  
J. BRIAN O'NEIL  
G. PHILLIP BEGGS  
ELDON L. BASHAM  
MATTHEW J. HOWARD  
JERE C. SMITH  
CLAYTON O. CARMACK  
KEVIN B. CARLOCK†  
ALEXANDER T. GALLOWAY III†  
J. KEVIN MOORE  
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ANGELA H. SMITH†  
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DAVID A. HURTADO  
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DAVID P. CONLEY  
B. CHASE ELLEBY  
TYLER R. MORGAN\*  
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LESLIE S. SMITH  
CHRISTOPHER L. JOHNSON  
CHRISTIAN H. LAYCOCK  
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JESSICA A. KING  
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JESS E. MAPLES\*  
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KENNETH D. HALL

RAHUL SHETH  
GRANT S. TALL  
NIGEL P. VORBRICH\*  
KIMBERLY E. THOMPSON\*  
E. SHANE BRANHAM\*  
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CHRISTOPHER R. BROOKS\*

OF COUNSEL:  
JOHN L. SKELTON, JR.†

† ALSO ADMITTED IN TN  
\* ALSO ADMITTED IN FL  
\*\*\*\* ALSO ADMITTED IN GA  
\* ALSO ADMITTED IN TX  
\* ALSO ADMITTED IN AL  
† ALSO ADMITTED IN KY  
+ ALSO ADMITTED IN SC  
\* ALSO ADMITTED IN NC  
\*\* ALSO ADMITTED IN IN  
\* ADMITTED ONLY IN TN  
‡ ADMITTED ONLY IN FL  
\*\*\* ADMITTED ONLY IN SC  
‡ ADMITTED ONLY IN KY

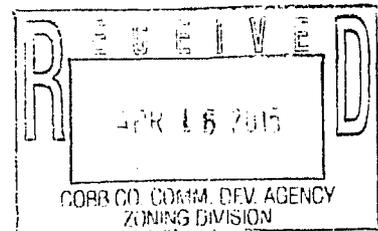
Min. Bk. 76 Petition No. Z-27

Doc. Type letter

Meeting Date 6-16-15

April 16, 2015

Hand Delivered



Mr. John P. Pederson, AICP  
Zoning Division Manager  
Zoning Division  
Cobb County Community Development Agency  
Suite 400  
1150 Powder Springs Road  
Marietta, Georgia 30064

RE: Application for Rezoning - Application No. Z-27 (2015)  
Applicant: Lynwood Development Group, LLC  
Property Owners: BSD Power II, LLC and Park Point Land, LLC  
Property: 3.14 acres, more or less, located on the southerly side of Powers Ferry Road and the westerly side of Windy Ridge Parkway, Land Lots 985 and 1008, 17<sup>th</sup> District, 2<sup>nd</sup> Section, Cobb County, Georgia

Dear John:

The undersigned and this firm represent Lynwood Development, LLC, the Applicant (hereinafter "Applicant"), in its Application for Rezoning with regard to property located on the southerly side of Powers Ferry Road and the westerly side of Windy Ridge Parkway, being 3.14 acres, more or less, in Land Lots 985 and 1008, 17<sup>th</sup> District, 2<sup>nd</sup> Section, Cobb County, Georgia (hereinafter the "Property" or "Subject Property"). After meetings and discussions with planning and zoning staff and various Cobb County departmental representatives, ongoing discussions and meetings with area civic and homeowner representatives and area residents, reviewing the staff

## MOORE INGRAM JOHNSON & STEELE

Mr. John P. Pederson, AICP  
Zoning Division Manager  
Zoning Division  
Cobb-County Community Development Agency  
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Petition No. 2-27  
Meeting Date 6-16-15  
Continued

comments and recommendations and the uses of surrounding properties, and following the presentation to the Cobb County Planning Commission, we have been authorized by the Applicant to submit this revised letter of agreeable stipulations and conditions which, if the Application for Rezoning is approved, as submitted, shall become a part of the grant of the requested zoning and shall be binding upon the Subject Property. This letter shall supersede and replace in full the previous letter of agreeable stipulations and conditions dated February 25, 2015, and filed with the Cobb County Zoning Office on February 26, 2015. The revised, proposed stipulations are as follows:

- (1) The stipulations and conditions set forth herein shall replace and supersede in full any and all prior stipulations and conditions, in whatsoever form, which are currently in place on the Subject Property; together with any and all prior Departmental Comments and Staff Recommendations submitted by Planning, Fire, Water, Sewer, and Drainage, relating to the Subject Property from any previous zoning actions.
- (2) Applicant seeks rezoning of the Subject Property from the existing zoning category of Office High Rise ("OHR") to the proposed zoning category of Urban Village Commercial ("UVC"), site plan specific to the revised Rezoning Site Plan prepared for Applicant by Planners and Engineers Collaborative dated December 29, 2014, last revised April 15, 2015. A reduced copy of the revised Rezoning Site Plan is attached hereto for ease of reference as Exhibit "A" and incorporated herein by reference.
- (3) By this revised letter of agreeable stipulations and conditions, Applicant amends its Application for Rezoning to include the revised Zoning Site Plan for the proposed development hereinabove referenced, same being prepared for Applicant by Planners and Engineers Collaborative dated December 29, 2014, last revised April 15, 2015, and filed contemporaneously herewith.
- (4) The Subject Property consists of approximately 3.14 acres of total site area and shall be developed for a mixed-use development consisting of residential units and supporting commercial development.

**MOORE INGRAM JOHNSON & STEELE**

Mr. John P. Pederson, AICP  
Zoning Division Manager  
Zoning Division  
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**I. COMMERCIAL COMPONENT**

- (1) The commercial component shall consist of a minimum of 8,000 square feet along the entire frontage of Powers Ferry Road, and may include specialty shops such as coffee, sundries, fitness, general merchandise, alcohol sales and consumption, restaurants, shared “hotspot” workspace, and other like businesses or establishments, which may be shared as business and fitness centers for the overall development.
- (2) Applicant agrees the exteriors and architectural appearance of the commercial component, shall be substantially similar to the renderings attached hereto as Exhibit “B,” including a combination of glass and brick with patio and outdoor seating areas ranging from twelve (12) to more than eighteen (18) feet in width and designed to engage the Powers Ferry Road corridor from a pedestrian perspective, but so as not to impede pedestrian traffic.
- (3) Applicant agrees that the minimum floor to finished ceiling height within the commercial component shall be twelve (12) feet.

**II. RESIDENTIAL COMPONENT**

- (1) The residential component of the proposed development shall consist of one building, a maximum of six (6) stories in height, with a maximum of two hundred eighty (280) total residential units.
- (2) Units within the proposed residential development shall consist of one and two-bedrooms, and range in square footage from 700 square feet to 1,400 square feet per unit, and possibly greater.
- (3) Floor plans and finishes within the units shall consist, at a minimum, of the following:
  - (a) Enhanced Corian, granite, marble, or other solid surface counter tops;
  - (b) Minimum ceiling heights:
    - i) Minimum nine (9) feet from floor to finished ceiling and greater; and

## MOORE INGRAM JOHNSON & STEELE

Mr. John P. Pederson, AICP  
Zoning Division Manager  
Zoning Division  
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- ii) Minimum ten (10) feet between floors;
  - (c) Wood frame cabinetry or equivalent;
  - (d) High-end appliances consistent with luxury apartment and condominium finishes;
  - (e) Extra deep stainless steel kitchen sinks;
  - (f) Ceramic tile, wood plank and high-end carpet throughout;
  - (g) Spacious, open floor plans;
  - (h) Brushed chrome or oiled rubbed bronze bathroom and kitchen fixtures;
  - (i) Ceramic tile bathrooms and laundry rooms;
  - (j) Spacious walk-in closets;
  - (k) High-speed internet wiring in all units;
  - (l) Window treatments throughout the units to present a uniform appearance;
  - (m) Tile tub surround and tile showers in select units;
  - (n) Upgraded wood trim package throughout each unit;
  - (o) First-class landscape and hardscape throughout the proposed development;
  - (p) Energy-efficient construction which will exceed the Georgia Energy Code;
  - (q) Double-paned, insulated windows in all units; and
  - (r) Controlled access building and amenity areas.
- (4) The exterior façade of the building will be responsive to the site and surrounding area and shall consist of brick, stone, stacked stone, stone-type materials, stucco-type materials, hardi or metal-panel, masonry, cement fiber, and glass, or any

**MOORE INGRAM JOHNSON & STEELE**

Mr. John P. Pederson, AICP  
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combinations thereof, on all four (4) sides. A copy of the rendering of the proposed building is attached hereto as Exhibit "C" and incorporated herein by reference.

- (5) All units within the proposed residential community may be leased in accordance with the UVC category. The units shall be converted to "for sale" units at such time as market conditions allow as determined by the primary lending institutions, at any given time, financing the subject development.
- (6) Upon conversion of the units to "for sale" condominium units, the units shall be made subject to the Georgia Condominium Act and shall comply in all respects therewith. The submission of these units to the Georgia Condominium Act shall be concurrent with the conversion of the units to "for sale" units. Upon such conversion, Applicant agrees to the recording and enforcement of a Declaration of Condominium which shall contain covenants, rules, and regulations applicable to the proposed residential condominium community.
- (7) Additionally, and in conjunction with the submission of the community to the Georgia Condominium Act, Applicant agrees to the creation of a mandatory condominium association which shall be responsible for the upkeep and maintenance of the entrance areas, all common areas, amenity areas, and the like, contained within the residential condominium community.
- (8) Upon conversion of the units to "for sale" units, there shall be established a restrictive covenant which limits the number of units which can be leased or rented at any one time to a maximum of ten (10) percent of the total number of units, or as allowed by any federal agency.
- (9) The proposed residential community shall have a state-of-the art recreational facility and unique amenity area for the use and enjoyment of its residents, as follows:
  - (a) Pool;
  - (b) Clubhouse, which will feature a media lounge and coffee bar;
  - (c) Fitness center, which will be fully equipped with weight training equipment; as well as a separate yoga studio and computerized aerobic training system;

**MOORE INGRAM JOHNSON & STEELE**

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- (d) Outside courtyard;
- (e) Bicycle racks; and
- (f) Controlled access.

**STIPULATIONS APPLICABLE TO THE OVERALL DEVELOPMENT**

- (1) Access to the proposed development shall be means of the existing access points to the office high-rise building; namely, the main access on Powers Ferry Road and the private road access from Windy Ridge Parkway, as more particularly shown and reflected on the referenced Rezoning Site Plan.
- (2) Parking for the commercial and residential components of the proposed project will be provided within the existing parking deck servicing the adjacent office high-rise building; as well as or within a multi-level addition to the existing parking deck, which will employ "shared" parking among the respective components and which will provide sufficient and adequate parking for the total development based on parking for the residents at a minimum ratio of one (1) space per bedroom and the Modified ULI Shared Parking demand ratios.
- (3) Overall lighting within the proposed development shall be environmentally sensitive, decorative, and themed to the architecture and style of the building. More specifically, proposed pedestrian lighting will be similar in nature and style to the Pedestrian Lighting Concepts attached hereto as Exhibit "D" and incorporated herein by reference so as to create a distinctive pedestrian-friendly location within the Powers Ferry Road corridor. The final pedestrian lighting style and concept will be subject to approval by the District Commissioner during the plan review process.
- (4) Additionally, hooded lighting shall be utilized on the building and throughout the walkways, surface parking area, and parking garage.
- (5) Signage for the proposed development shall be ground based, monument style, and shall be constructed in a style and of materials which are complementary to the proposed building; excepting only, building, commercial/tenant identification signage and directional signage. More specifically, signage for the commercial

**MOORE INGRAM JOHNSON & STEELE**

Mr. John P. Pederson, AICP  
Zoning Division Manager  
Zoning Division  
Cobb County Community Development Agency  
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portion of the development will be similar in style and distinction to those shown on the Signage Concepts attached hereto as Exhibit "E" and incorporated herein by reference. The final signage package for the overall development, including commercial signage shall be subject to the approval of the District Commissioner during the plan review process.

- (6) All construction and employee vehicles and equipment will be parked, and otherwise located on, the Subject Property, or the adjacent office parking, during development of infrastructure and construction of the residential building.
- (7) The setbacks for the proposed community shall be as follows:
  - (a) Front setback - Twenty-five (25) feet;
  - (b) Rear setback - Twenty-five (25) feet;
  - (c) Major side setback - Twenty-five (25) feet; and
  - (d) Minor side setback - Zero (0) feet.
- (8) The maximum impervious surface area shall be sixty-five (65) percent.
- (9) Landscaping for the entrance area, sign areas, amenity and courtyard areas, and all other common areas immediately surrounding the proposed building shall be professionally designed, implemented, and maintained.
- (10) All utilities servicing units within the proposed development shall be underground.
- (11) Applicant shall be allowed to provide for a gated development pursuant to Cobb County standards.
- (12) The District Commissioner shall have the authority to approve minor modifications to these stipulations and the Rezoning Site Plan as the development proceeds through the Plan Review process and thereafter. For purposes of this paragraph, any modifications that increase density; reduce the size or composition of an approved buffer or landscape strip to adjacent property; relocate a structure closer to a property line; or, increase the height of a building adjacent to property which are in direct contradiction to or conflict with the foregoing stipulations, will

**MOORE INGRAM JOHNSON & STEELE**

Mr. John P. Pederson, AICP  
Zoning Division Manager  
Zoning Division  
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come back through the public hearing process as an "Other Business" Application."

- (13) Any retaining walls exposed to public rights-of-way or adjoining properties shall be faced with hard surface materials such as brick, stone, stacked stone, or split-faced segment block wall.
- (14) Any sidewalk, curb, or guttering damaged or destroyed during construction shall be repaired or fully replaced following completion of the project.
- (15) All buffer areas may be penetrated for purposes of access, utilities, and stormwater management; including, but not limited to, detention/retention facilities, drainage facilities, trails, and any and all slopes or other required engineering features of the foregoing.
- (16) Applicant agrees to comply with all Cobb County Stormwater Management requirements applicable to the Subject Property.
- (17) All landscaping referenced herein shall be approved by the Cobb County Arborist as part of the plan review process and incorporated into the overall landscape plan for the proposed development.
- (18) Applicant agrees to comply with all Cobb County development standards and ordinances relating to project improvements, except as approved by the Board of Commissioners or by the Department of Transportation or Community Development Agency, as their authority may allow.

We believe the requested zoning, pursuant to the revised Rezoning Site Plan and the stipulations set forth herein, conforms to the vision established in the Powers Ferry Master Plan and is an appropriate use of the Subject Property. This project will be of the highest quality and will make an immediate contribution of critically needed, higher quality housing to the Powers Ferry Road's residential base.

**MOORE INGRAM JOHNSON & STEELE**

Mr. John P. Pederson, AICP  
Zoning Division Manager  
Zoning Division  
Cobb County Community Development Agency  
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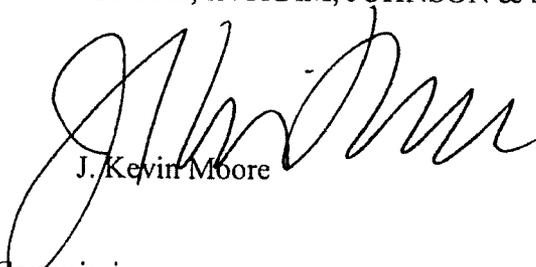
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Meeting Date 6-16-15  
Continued

Thank you for your consideration in this request.

With kindest regards, I remain

Very truly yours,

MOORE, INGRAM, JOHNSON & STEELE, LLP



J. Kevin Moore

JKM:cc

Attachments

c: Cobb County Board of Commissioners:  
Timothy D. Lee, Chairman  
JoAnn Birrell  
Lisa N. Cupid  
Robert J. Ott  
Bob Weatherford  
(With Copies of Attachments)

Jason A. Campbell  
Planner III  
Zoning Division  
Cobb County Community Development Agency  
(With Copies of Attachments)

Charles H. Coffin  
(With Copies of Attachments)

Sheldon Schlegman  
The Horizon Condominiums  
(With Copies of Attachments)

Sheri George  
Vice President  
Terrell Mill Community Association  
(With Copies of Attachments)

**MOORE INGRAM JOHNSON & STEELE**

Mr. John P. Pederson, AICP  
Zoning Division Manager  
Zoning Division  
Cobb County Community Development Agency  
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Continued

c: Lynwood Development Group, LLC  
(With Copies of Attachments)

Alliance Residential Company  
(With Copies of Attachments)

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**Lynwood Development Group, LLC**  
 A MASTER PLANNED RESIDENTIAL COMMUNITY  
**Park Point**  
 480 LORAIN AVENUE, SUITE 100  
 ATLANTA, GEORGIA 30308  
 PHONE: 404-525-4388  
 FAX: 404-525-4389

**REVISIONS:**

NO.	DATE	BY	DESCRIPTION
1	11/15/13	JK	ISSUED FOR PERMITS
2	11/15/13	JK	ISSUED FOR PERMITS
3	11/15/13	JK	ISSUED FOR PERMITS
4	11/15/13	JK	ISSUED FOR PERMITS
5	11/15/13	JK	ISSUED FOR PERMITS
6	11/15/13	JK	ISSUED FOR PERMITS
7	11/15/13	JK	ISSUED FOR PERMITS
8	11/15/13	JK	ISSUED FOR PERMITS
9	11/15/13	JK	ISSUED FOR PERMITS
10	11/15/13	JK	ISSUED FOR PERMITS
11	11/15/13	JK	ISSUED FOR PERMITS
12	11/15/13	JK	ISSUED FOR PERMITS
13	11/15/13	JK	ISSUED FOR PERMITS
14	11/15/13	JK	ISSUED FOR PERMITS
15	11/15/13	JK	ISSUED FOR PERMITS
16	11/15/13	JK	ISSUED FOR PERMITS
17	11/15/13	JK	ISSUED FOR PERMITS
18	11/15/13	JK	ISSUED FOR PERMITS
19	11/15/13	JK	ISSUED FOR PERMITS
20	11/15/13	JK	ISSUED FOR PERMITS

**REZONING SITE PLAN**

SCALE: 1" = 50'  
 DATE: DEC 20, 2014  
 PROJECT: REZONING

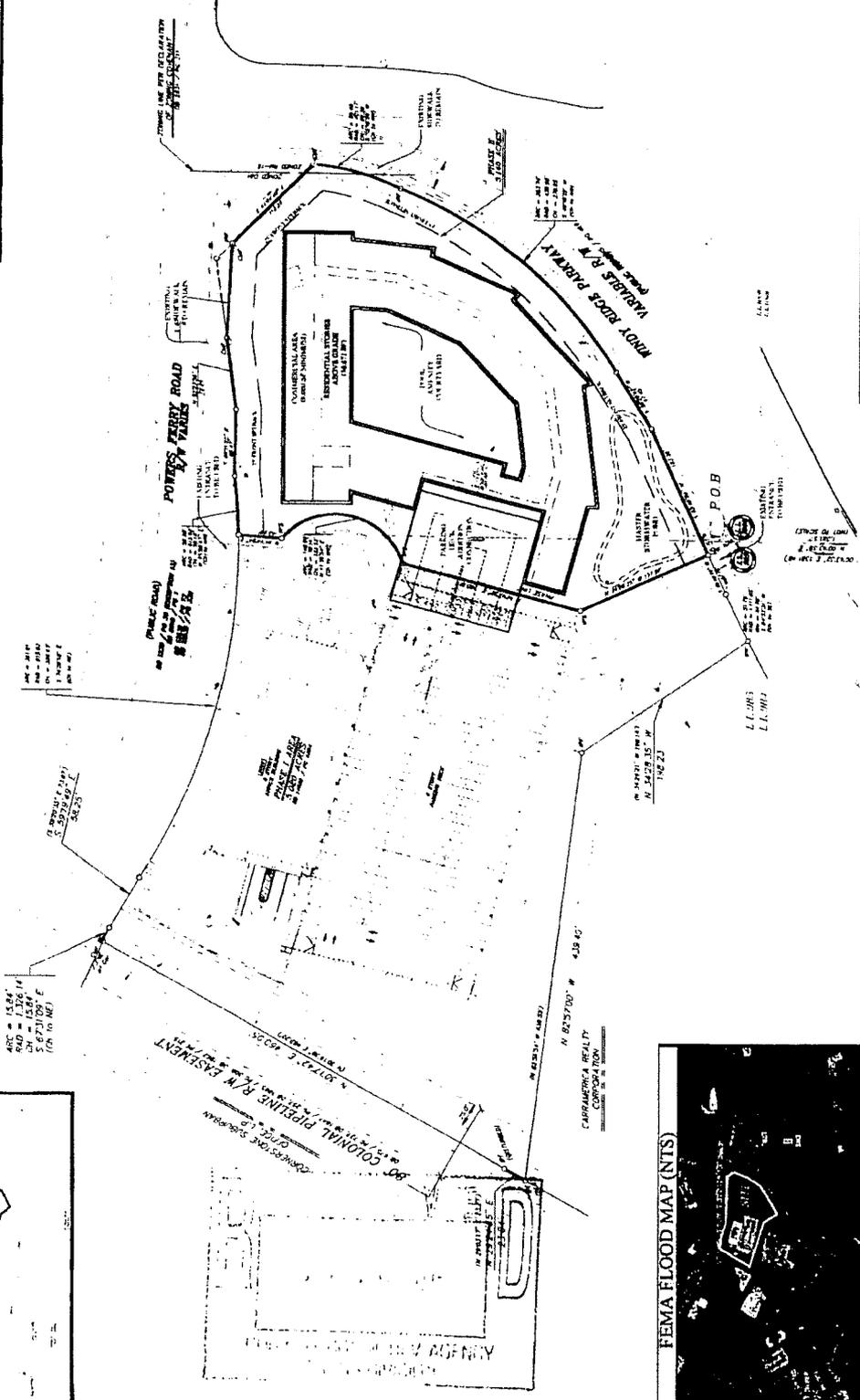
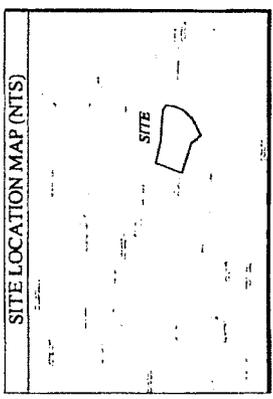
811  
 Know what's below. Call every year.

**Z1**  
 SHEET

**SITE DATA:**

TOTAL SITE AREA	11.1 ACRES
ZONING	R-10
PERMITTED USES	RESIDENTIAL SINGLE-FAMILY, TWO-FAMILY, THREE-FAMILY, FOUR-FAMILY, FIVE-FAMILY, SIX-FAMILY, SEVEN-FAMILY, EIGHT-FAMILY, NINE-FAMILY, TEN-FAMILY, ELEVEN-FAMILY, TWELVE-FAMILY, THIRTEEN-FAMILY, FOURTEEN-FAMILY, FIFTEEN-FAMILY, SIXTEEN-FAMILY, SEVENTEEN-FAMILY, EIGHTEEN-FAMILY, NINETEEN-FAMILY, TWENTY-FAMILY
DEVELOPMENT	RESIDENTIAL
DEVELOPMENT TYPE	SINGLE-FAMILY
DEVELOPMENT DENSITY	10 UNITS PER ACRE
DEVELOPMENT AREA	111,000 SQ. FT.
DEVELOPMENT TYPE	SINGLE-FAMILY
DEVELOPMENT DENSITY	10 UNITS PER ACRE
DEVELOPMENT AREA	111,000 SQ. FT.

Petition No. 2-27  
 Meeting Date 6-16-15  
 Continued



**PARKING NOTE:**  
 1. PARKING IS REQUIRED TO BE PROVIDED FOR THE ENTIRE PROJECT. THE MINIMUM NUMBER OF PARKING SPACES SHALL BE DETERMINED BY THE LOCAL JURISDICTION. THE PARKING SPACES SHALL BE PROVIDED IN ACCORDANCE WITH THE LOCAL JURISDICTION. THE PARKING SPACES SHALL BE PROVIDED IN ACCORDANCE WITH THE LOCAL JURISDICTION. THE PARKING SPACES SHALL BE PROVIDED IN ACCORDANCE WITH THE LOCAL JURISDICTION.

EXHIBIT "A"

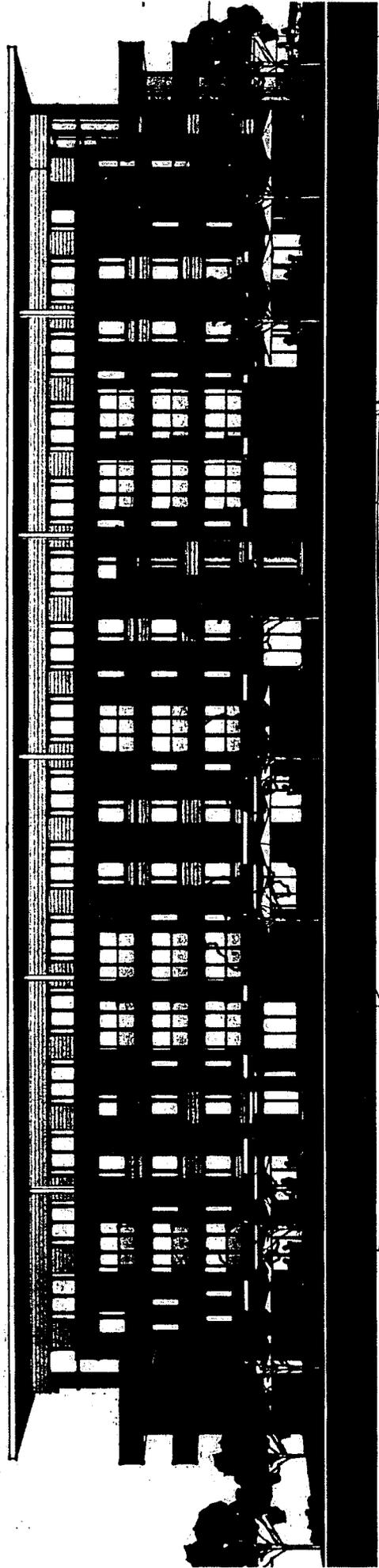
Petition No. z-27  
Meeting Date 6-16-15  
Continued

June 16 2015

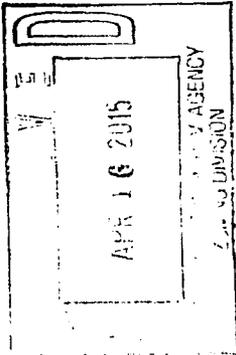


EXHIBIT "B"

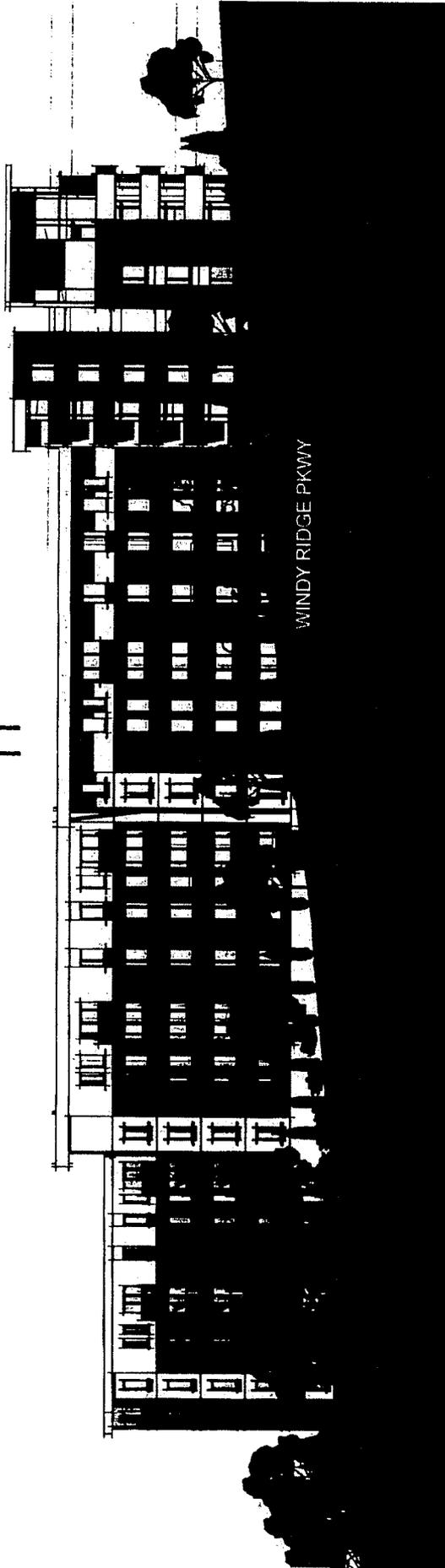
Petition No. 2-27  
Meeting Date 6-16-15  
Continued



Petition No. 2-27  
Meeting Date 6-16-15  
Continued



EXISTING  
OFFICE TOWER



EAST ELEVATION @ WINDY RIDGE PKWY

EXHIBIT "C"

Windy Ridge  
Project: PR320-14

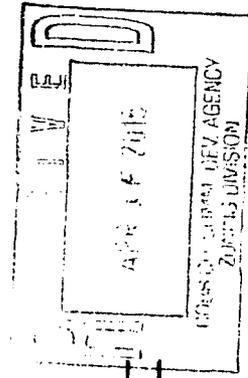
Powers Ferry Road at Windy Ridge Parkway, Marietta

Massing Diagram  
01.29.15



PERSPECTIVE @ WINDY RIDGE PKWY - SOUTH

Petition No. 2-27  
Meeting Date 6-16-15  
Continued



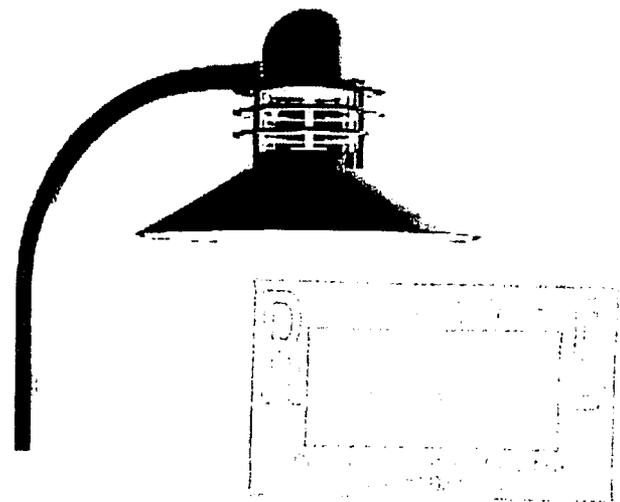
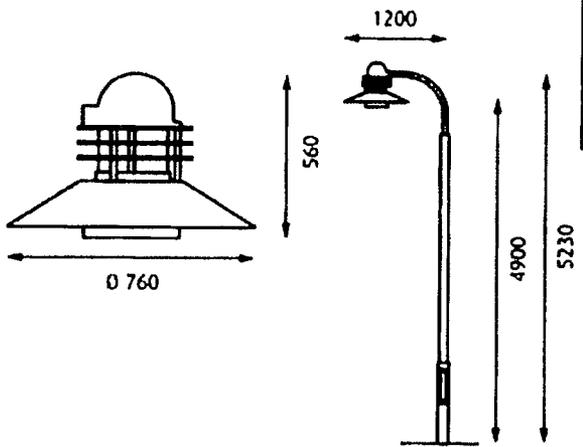
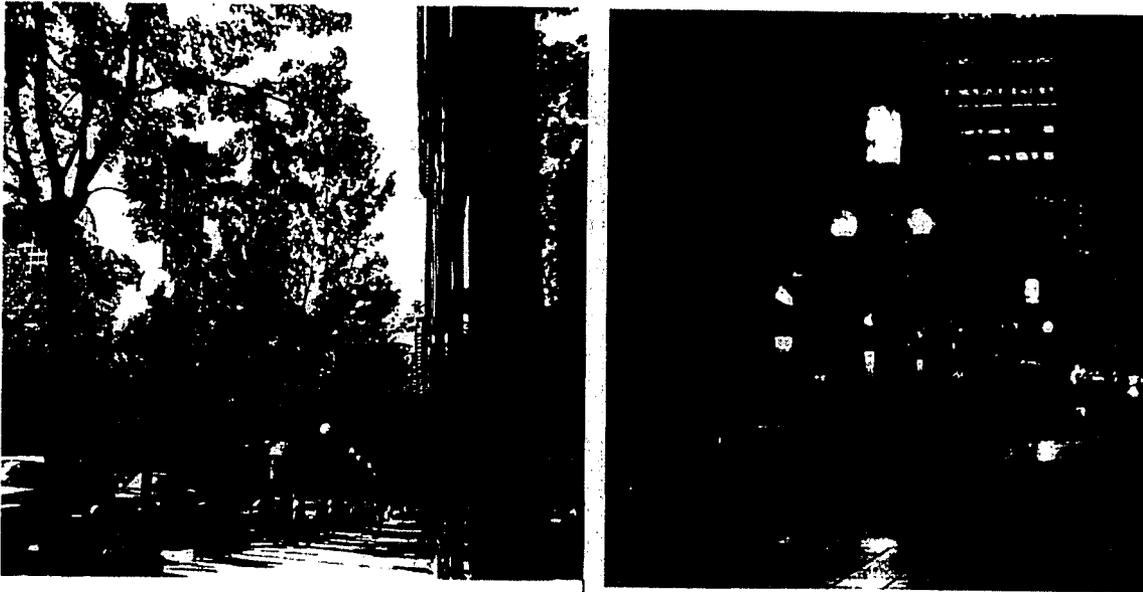
**Windy Ridge**  
Project: PC00-14

Powers Ferry Road at Windy Ridge Parkway, Merietta

Massing Diagram  
01.29.15

## Streetscape Lighting

Creating a safe and inviting environment is the main goal for the commercial area street lighting plan.



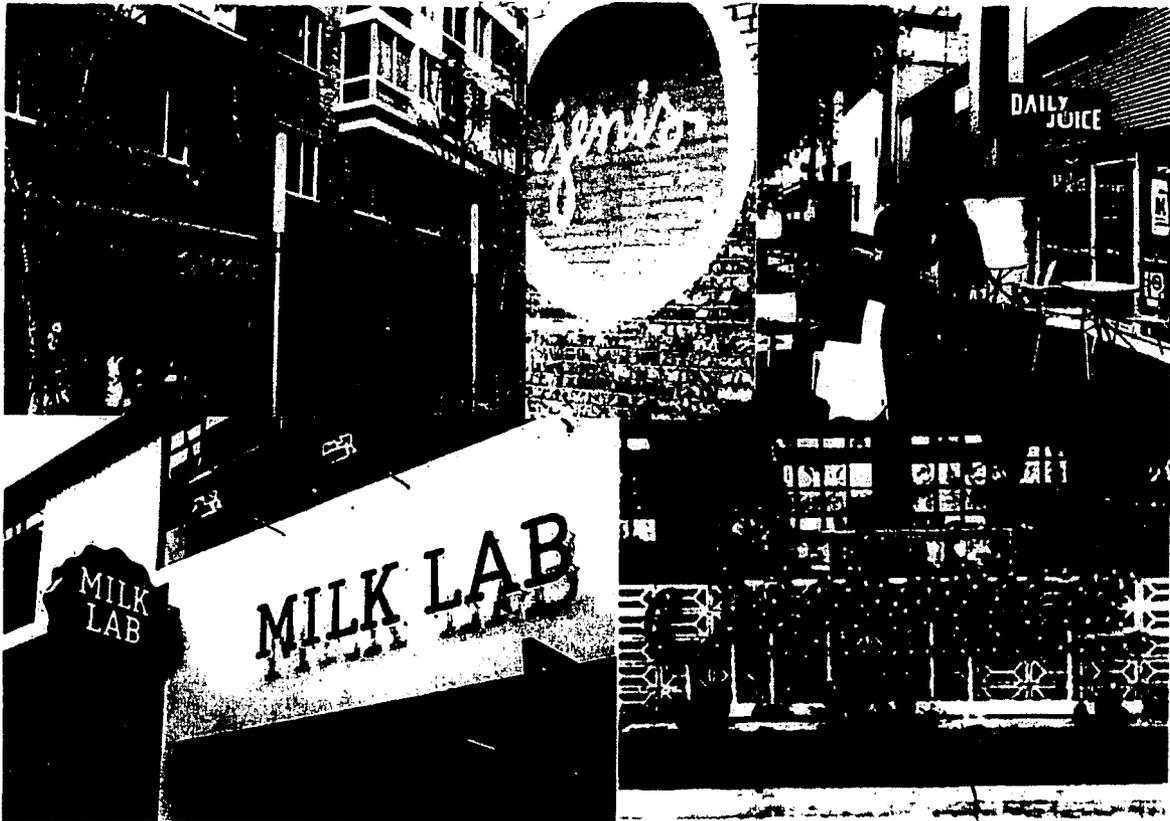
The town center style street lamps create a vintage look and are aesthetically pleasing. The fixtures illuminate adjacent sidewalks and storefronts providing opportunity for evening strolls and community gathering.

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Meeting Date 6-16-15  
Continued

## Commercial Area - Conceptual Signage

Powers Ferry at Windy Ridge

Attractive, updated and fun with personality to match, the signage package provides an urban village feel and a destination to call home.



- Positioning signs at alternate heights and in nontraditional locales provides ideal pedestrian views and creates intimacy.
- Artistic alternative sign formats bring a unique, indie look to the commercial area.
- Allowing for autonomy in sign design, materials and placement avoids a homogenous suburban feel
- Prohibiting the use of back lit florescent signs mitigates a vehicular centric feel.

Petition No.       Z-27        
Meeting Date       6-16-15        
Continued

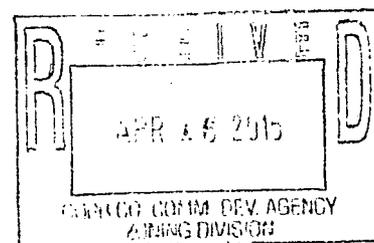


EXHIBIT "E"

Z-27/Lynwood Development  
Proposed Stipulations:

(5) All units within the proposed residential community may be leased or purchased in accordance with the UVC category. Applicant and/or subsequent transferees and assigns agrees to actively pursue conversion of all units within the community in accordance with the Georgia Condominium Act to "for sale" units at such time as market conditions allow as determined by the primary lending institutions, at any given time, financing the subject development.

Deleted: All  
Deleted: shall be converted

(6) Upon conversion of all units to "for sale" condominium units, all units shall be made subject to the Georgia Condominium Act and shall comply in all respects therewith. The submission of these units to the Georgia Condominium Act shall be concurrent with the conversion of all units to "for sale" units. Upon such conversion, Applicant agrees to the recording and enforcement of a Declaration of Condominium consistent with the Georgia Condominium Act; consistent with the quality of the community as set forth in these stipulations; and which shall contain covenants, rules, and regulations applicable to the proposed residential condominium community. At the time of conversion, a copy of the Declaration of Condominium shall be delivered to the Cobb County Community Development Department.

(7) Additionally, and in conjunction with the submission of the community to the Georgia Condominium Act, Applicant agrees to the creation of a mandatory condominium association which shall be responsible for the upkeep and maintenance of the entrance areas, all common areas, amenity areas, and the like, contained within the residential condominium community.

Min. Bk. 76 Petition No. Z-27  
Doc. Type proposed stipulations  
Meeting Date 6-16-15

FILED WITH COUNTY CLERK THIS 16 DAY  
OF June 20 15 BY K. Moore  
RE Z-27  
Jeri Barton  
COUNTY CLERK/ASST. COUNTY CLERK/DEPUTY COUNTY CLERK  
COBB COUNTY, GEORGIA