

Application for "Other Business"

OB-063-2015

Cobb County, Georgia

(Cobb County Zoning Division - 770-528-2035)

BOC Hearing Date Requested: 12/15/15

Applicant: DAVID GUNTER

NOV 10 2015
Phone #: 704-803-2293

Address: 691 John Wesley Dobbs Ave NE Unit V

E-Mail: Nationwidebuildingpermits@gmail.com

David Gunter
(representative's name, printed)

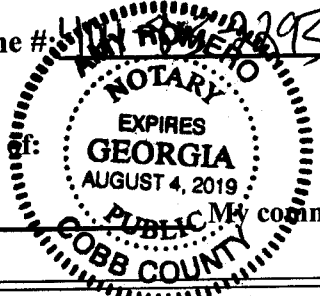
Address: 691 J.W. Dobbs Ave NE Atlanta, GA 30312

[Signature]
(representative's signature)

Phone #: 704-803-2293

E-Mail: Nationwidebuildingpermits@gmail.com

Signed, sealed and delivered in presence of:



[Signature]
Notary Public

My commission expires: 8/4/19

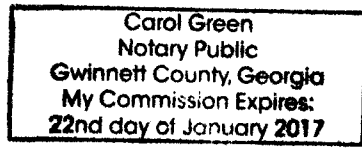
Titleholder(s): Weingarten Nostat, Inc.

Phone #: 770-618-1089

Address: 4745 Ashford Dunwoody, Atlanta

E-Mail: walker@weingarten.com

[Signature]
(Property owner's signature)



Signed, sealed and delivered in presence of:

[Signature]
Notary Public

My commission expires: 1/22/2017

Commission District: 4

Zoning Case: 167 of 1987

Date of Zoning Decision: 8-18-87

Original Date of Hearing: 8-18-87

Location: 3999 Austell Road (Austell Rd + E-W Connector)
(street address, if applicable; nearest intersection, etc.)

Land Lot(s): 921

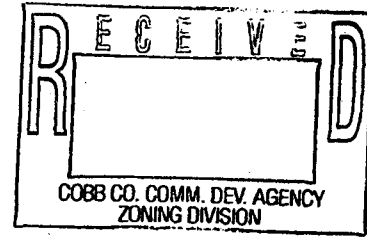
District(s): 19

State specifically the need or reason(s) for Other Business: Rezoning application # 167 (The Oxford Group, Inc.) of 1987. Required by code.

08-063-2015

07/10/2014

Contact Info: John Saunders 404-287-6390
Email- permitconsulting@gmail.com



Subject Property : Brookwood Square Shopping Center
Property Address: 1825 East West Connector Austell GA 30106

TYPE OF PROJECT:

INSTALLATION OF A NEW DRIVE-UP JP MORGAN CHASE BANK SIGNATURE CANOPY & ATM BUILDING. HEDACHE BAR, AND MISCELLANEOUS BOLLARDS

SCOPE OF WORK

MODIFY EXISTING FOUNDATION. WITH NEWENGINEERED PAD, INSTALL NEW PRE-MAUNUFACTURED ATM TYPE-U BUILDING & ACCECSORIES SUCH AS BOLLARDS AND HEADACHE BAR / CLEARANCE INDICATOR. MODIFY CURB TO WIDEN DRIVE THROUGH

Zoning : CRC

APN # 19093100220

APPLICABLE BUILDING CODE: 2010 California Building Code (based on IBC 2006) 2010 National Electric Code

LOT SIZE (ACRES) - 9.03 acres

Parking Implications: 0 parking stalls affected

AREA DISTURBED: .001603 acres < 70 Sq. Ft.

OCCUPANCY TYPE - U

Contact Info: John Saunders 404-287-6390
Email- permitconsulting@gmail.com

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OFF- PREMISE ATM AND CANOPY PROJECT



**BROOKWOOD SQUARE
1825 E WEST CONNECTOR
AUSTELL, GA 30106-1247**

CONTACT INFORMATION:

**JOSHUA HIGGINS
10672 JASMINE AVE
FONTANA, CA 92337
909-770-7927**

TYPE OF PROJECT

INSTALLATION OF A NEW JPMORGAN CHASE SIGNATURE CANOPY,
ATM DOGHOUSE (BUILDING), HEADACHE BAR, AND MISC.
BOLLARDS.

SCOPE OF WORK

INSTALL NEW PRE-MANUFACTURED ATM TYPE-U BUILDING,
MODIFY (E) ATM FOUNDATION WITH NEW ENGINEERED PAD.
INSTALL NEW 10' HEADACHE BAR TO CURRENT STANDARD CODE
SONOTUBE FOOTING. BOLLARDS AS NECESSARY ON (E)
FOUNDATION PAD. MODIFY (E) CURB TO WIDEN DRIVE THROUGH

APPLICABLE BUILDING CODE

2010 CALIFORNIA BUILDING CODE (BASED ON IBC 2006)
2010 NATIONAL ELECTRICAL CODE

LOT SIZE (ACRES) - 9.03

TOTAL AREA DISTURBED: .0287 ACRE(S)

OCCUPANCY TYPE - U

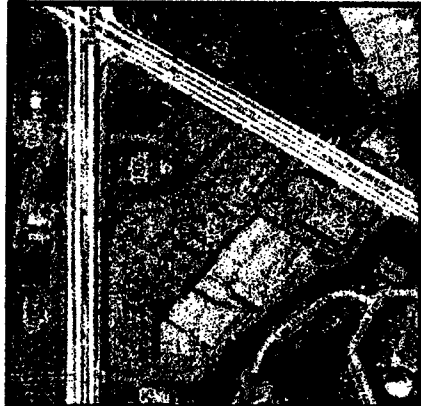
ZONING: CRC
APN: 19093100220
TRACT ID:
LOT: SIZE: 9.03 acres

PARKING IMPLICATIONS-
ATM PAD ON (E) PAD 0 PARKING
STALLS IMAPCATED.

SQUARE FOOTAGE OF
DISTURBED SOIL FOR
FOUNDATION OF DOGHOUSE
BUILDING - 70 sq ft



WORK SITE
LOCATION MAP
NO SCALE



COBB COUNTY ZONING MAP
NO SCALE

GOVERNMENT SOLUTIONS
PERFORMANCE IMPLEMENTATION SOLUTIONS

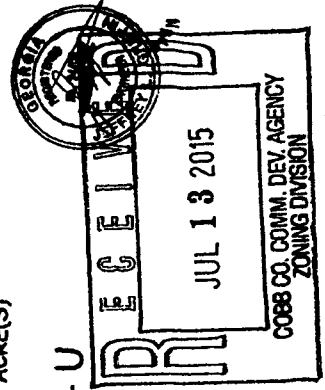
CLIENT
CHASE BANK
1825 E WEST CONNECTOR
KENNESAW, GA 30144

ISSUE
03.07.14

PROJECT NO.
GA
PROJECT
BROOKWOOD
SQUARE

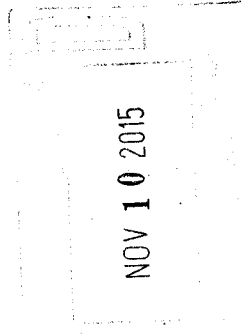
DRAWN BY
JH
DESCRIPTION
ATM / TTM BLDG
PROJECT

T
01



GENERAL NOTES

1. NEW CONCRETE FOUNDATION SUPPORTING CANOPY AND DOGHOUSE SHALL BE NO LESS THAN 3000 PSI
2. ALL REMOVED / DISTURBED SOIL WILL BE CONTAINED AND DISPOSED OF SO THAT NO SOIL WILL REACH THE NEAREST DRAIN PER BEST MANAGEMENT PRACTICES GUIDELINE(S).
3. REBAR MATS FOR ATM CONCRETE PAD:
REFERENCE ENGINEERED DRAWINGS ICON SOLUTIONS PAGE 11
- *REFERENCE FOUNDATION DETAIL OF ACCOMPANIED MANUFACTURE ENGINEERED DRAWINGS - PAGE 11
4. DOGHOUSE & CANOPY MANUFACTURE UL CERTIFIED
5. ANCHOR BOLTS USED FOR CANOPY TO BE EMBEDDED IN CONCRETE AT LEAST 10" PER SPEC.
9. ALL EXTERIOR LIGHTING SHALL HAVE CONTROL THAT AUTOMATICALLY TURN OFF OR LOWER LIGHT LEVELS DURING INACTIVE PERIODS FROM DUSK TO DAWN. CANOPY IS TO UTILIZE PHOTOCELL
10. ALL EXCAVATED MATERIAL AND DEBRIS ARE TO BE EXPORTED TO AN APPROVED CITY OF ATLANTA LANDFILL



MANUFACTURING DETAIL WET STAMPED AND SIGNED BY LOCAL LICENSED STRUCTURAL ENGINEER, ACCOMPANIED FOR REFERENCE ONLY

 MANUFACTURE IMPLEMENTATION SOLUTIONS	CLIENT CHASE BANK 1925 E WEST CONNECTOR KENNESAW, GA 30144	DATE 03.07.14	PROJECT NO. 5	DRAWN BY JM	DESCRIPTION CANOPY PROJECT	PROJECT BROOKWOOD SQUARE	A	01
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COMBUSTION BRANDS
NATIONWIDE IMPLEMENTATION SOLUTIONS

RECEIVED
JUL 13 2015
0088 CO. COMM. DEV. AGENCY
ZONING DIVISION
905 SE BANK
1825 E WEST CONNECTOR
KENNESAW, GA 30144

DATE: 03.07.14
PROJECT NO.:
PROJECT: BROOKWOOD SQUARE
GA

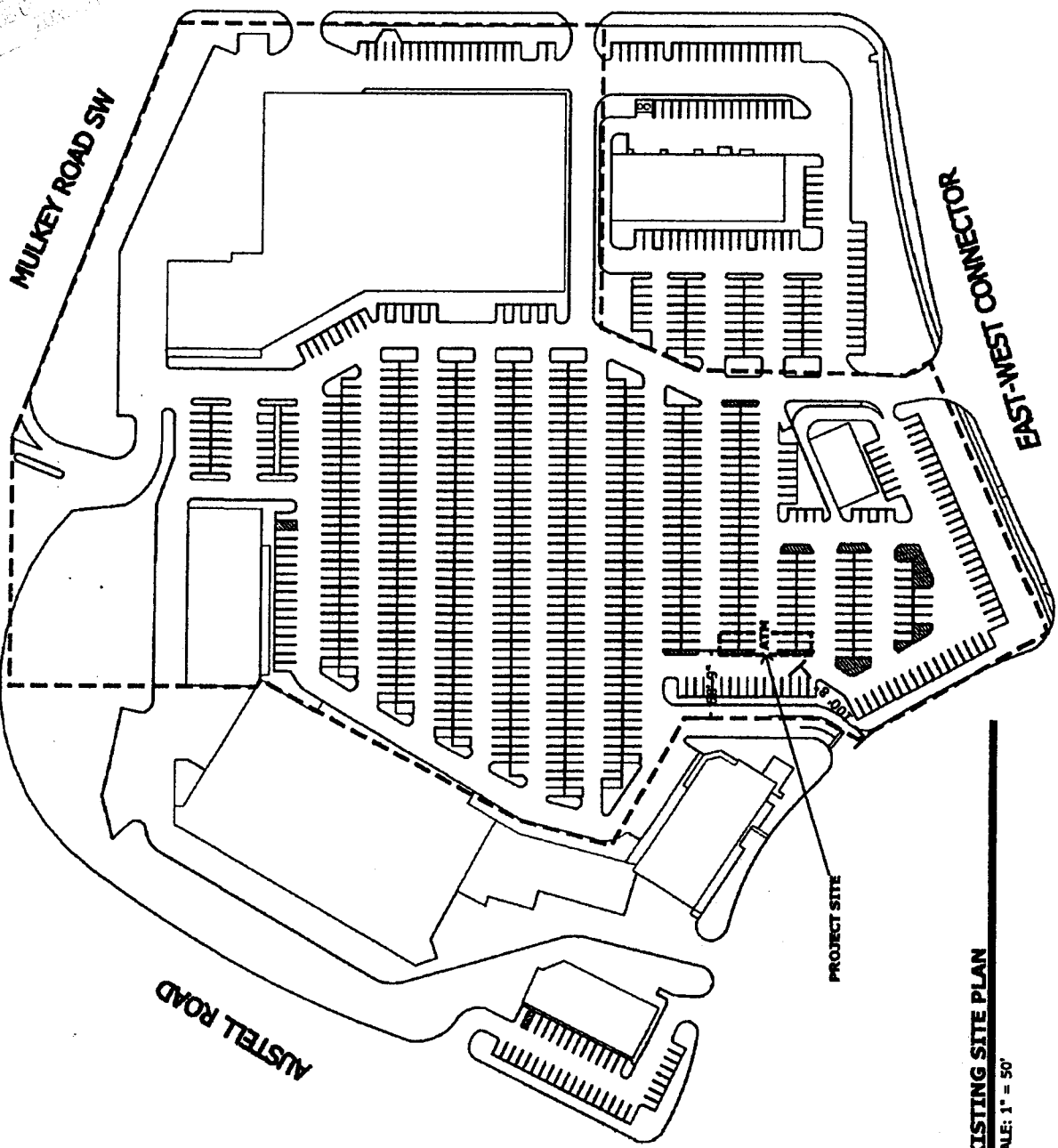
DRAWN BY: JH
DESCRIPTION: SITE PLAN
A
02



THE PROPERTY LINES AND SETBACKS ARE TO BE SHOWN BY PUBLIC RECORDS. THIS SITE PLAN IS FOR REFERENCE ONLY FOR THE AREA OF PROPOSED WORK TO THE EXISTING PROPERTY LINES AND THE EXISTING SETBACKS. THIS SITE PLAN IS NOT TO BE EXISTING SETBACKS. THE PROPOSED SETBACKS SHALL BE SHOWN BY THE PROPOSED SETBACKS. ANY WORK FROM PUBLIC RECORDS (AS TO BE SHOWN) SHALL BE TAKEN. ALL OF THE PROPOSED AREA OF WORK HEREIN IS WITHIN THE ESTABLISHED SETBACKS AND ENCROACHMENTS.

RECEIVED
NOV 10 2015
COMMUNITY DEVELOPMENT

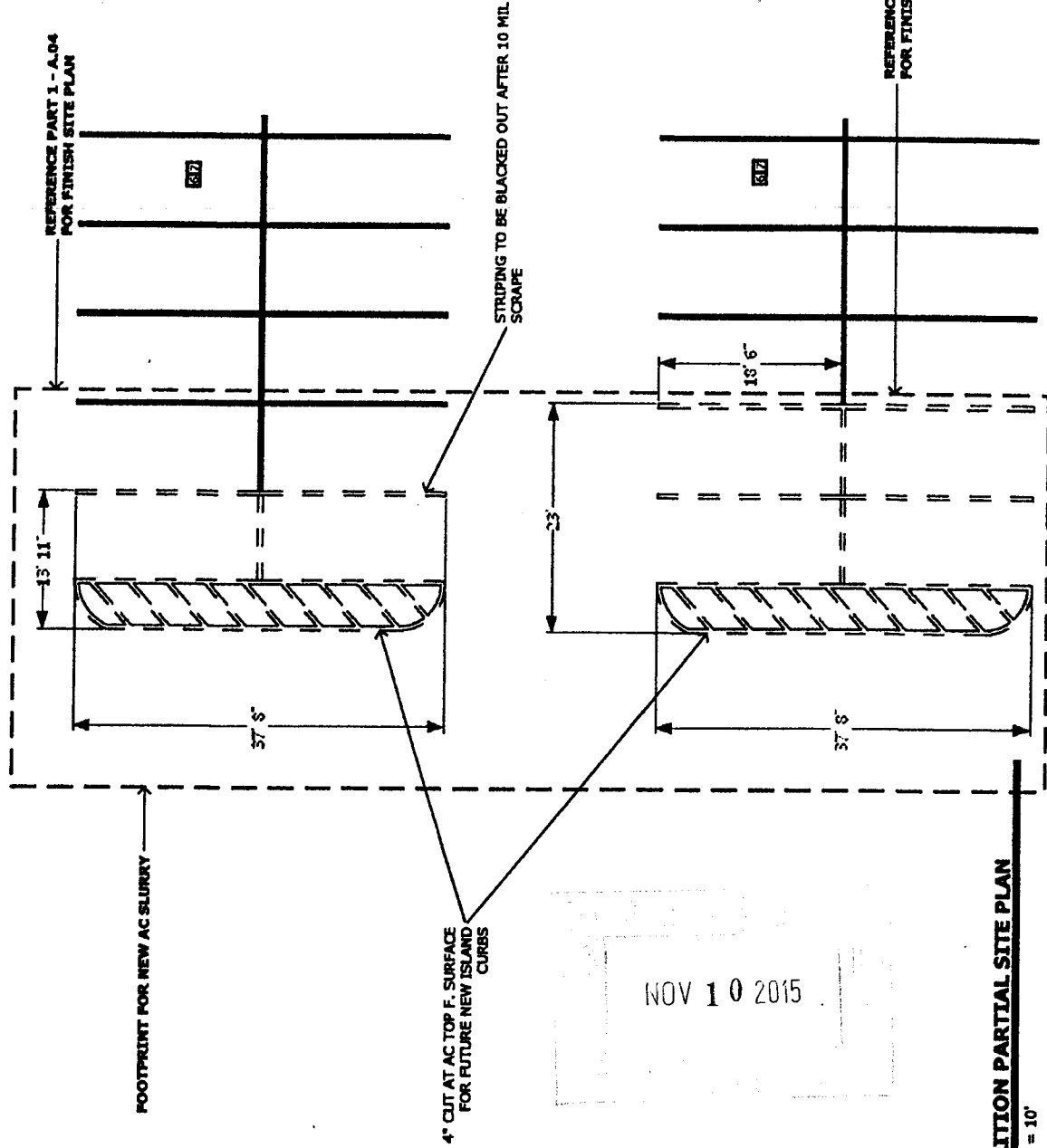
BROOKWOOD DRIVE SW



EXISTING SITE PLAN
SCALE: 1" = 50'

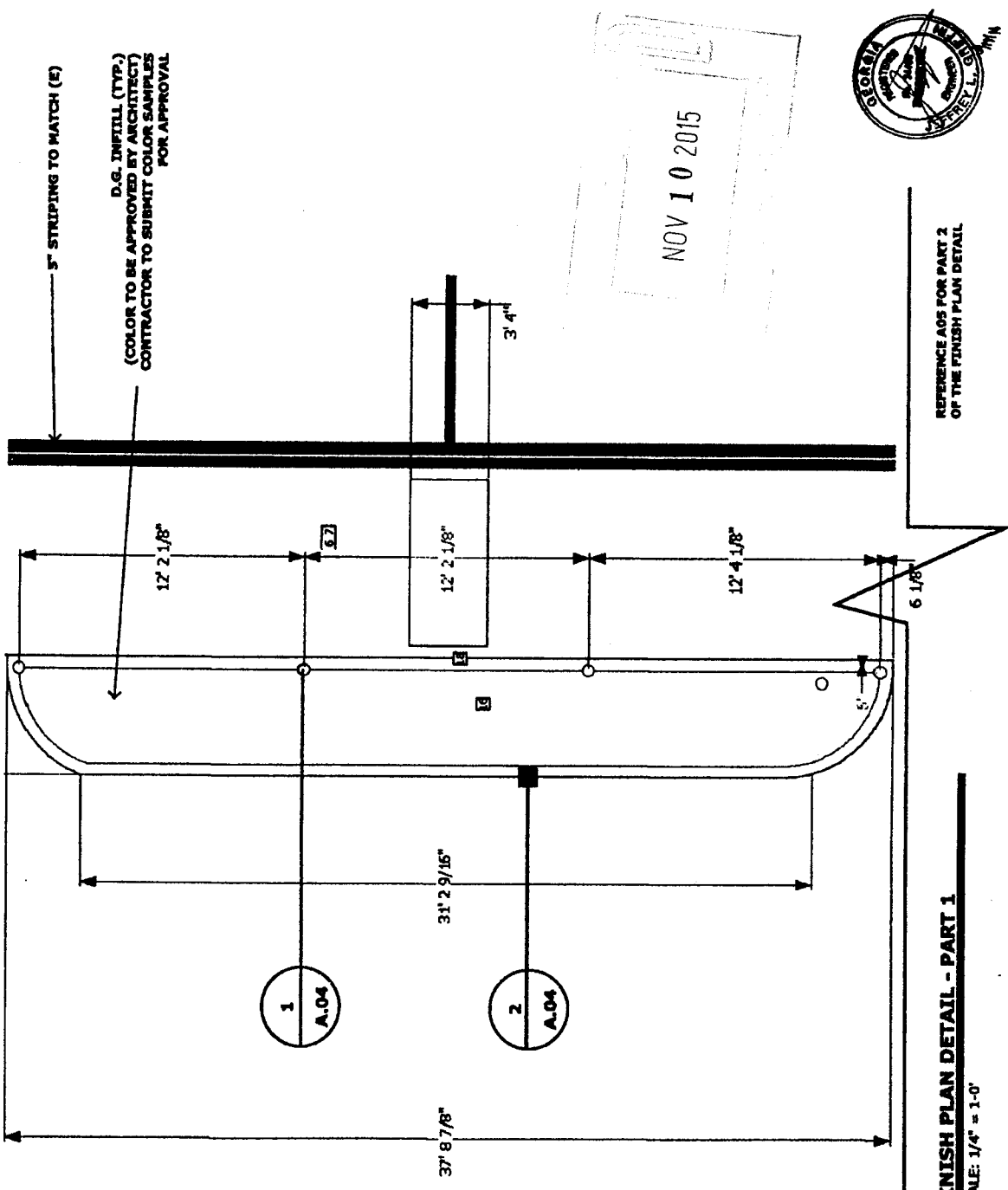


SITE PLAN NOTES	
1	(N) CHASE DRIVE UP ATM W/ CANOPY
2	(N) DEMO (S) LANDSCAPE, SHRUBS AND TERRAZZO AS REQ.
3	(S) 8" TYPE CURB AND LANDSCAPE TO REMAIN
4	(S) LIGHT POLE TO REMAIN
5	(S) TRUSS TO REMAIN
6	(S) PARKING STALLS TO REMAIN (TYP.)
7	(S) ASPHALT PAVEMENT TO REMAIN
8	(S) 8" TYPE CURB TO BE DEMOLISHED
9	(S) POST LOTTING TO BE DEMOLISHED (TYP.)
10	(S) HEADACHE BAR TO BE REMOVED
11	(S) ATM FOUNDATION PAD TO BE DEMOLISHED
12	(S) ELECTRICAL METERBOX AND METER TO BE RELOCATED FOR FUTURE USE
13	(S) BOLLARDS TO BE REMOVED (TYP.)
14	(S) ATM FOUNDATION (REF. ENGINEER DRAWINGS)
15	(S) HEADACHE BAR (REF. ENGINEER DRAWINGS)
16	(S) 8" O.D. BOLLARDS (REF. ENGINEER DRAWINGS)
17	(S) TYPE-B CURB
18	(S) ASPHALT SLURRY SEAL
19	(S) CANOPY & DOORHOUSE
20	(S) ATM & ARROW STENCIL
	EXISTING _____
	NEW _____
	DEMOLITION _____



NOV 10 2015

DEMOLITION PARTIAL SITE PLAN
 SCALE: 1" = 10'



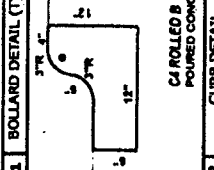
NOV 10 2015

REFERENCE A05 FOR PART 2 OF THE FINISH PLAN DETAIL

FINISH PLAN DETAIL - PART 1
SCALE: 1/4" = 1'-0"

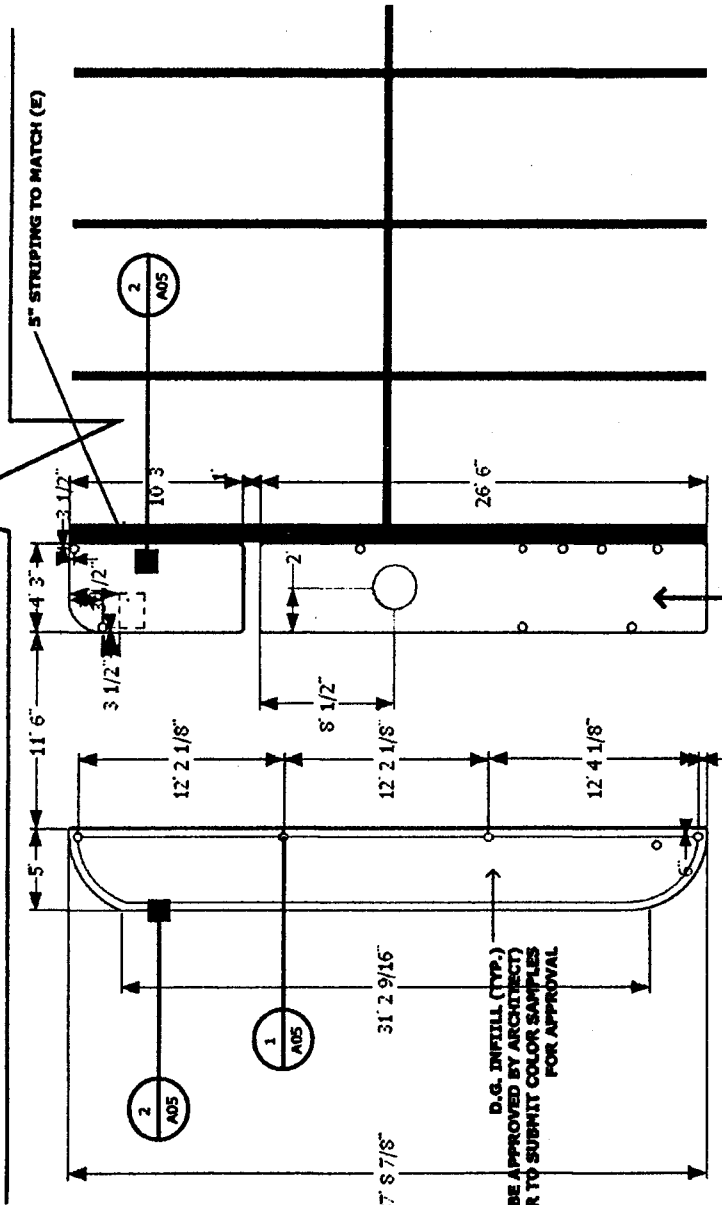
SITE PLAN NOTES	
1	(1) CHASE DRIVE UP ATM W/CHIMNEY
2	(2) MODIFY (E) LANDSCAPE, SHRUBS AND IRRIGATION AS REC.
3	(3) "T" TYPE CURB AND LANDSCAPE TO REMAIN
4	(4) LIGHT POLE TO REMAIN
5	(5) TREES TO REMAIN
6	(6) PARKING STALLS TO REMAIN (TYP.)
7	(7) ASPHALT PAVEMENT TO REMAIN
8	(8) "T" TYPE CURB TO BE DEMOLISHED
9	(9) POST FOTTING TO BE DEMOLISHED (TYP.)
10	(10) HEADMOHE BAG TO BE REMOVED
11	(11) ATM FOUNDATION PAD TO BE DEMOLISHED
12	(12) ELECTRICAL METERBOX AND METER TO BE RELOCATED FOR FUTURE USE
13	(13) BOLLARDS TO BE REMOVED
14	(14) ATM FOUNDATION (REF. ENGINEER DRAWINGS)
15	(15) HEADMOHE BAR(REF. ENGINEER DRAWINGS)
16	(16) S.O.D. BOLLARDS(REF. ENGINEER DRAWINGS) TYP.
17	(17) "T" TYPE CURB
18	(18) ASPHALT SLURRY
19	(19) CHERRY & DOGHOUSE
20	(20) ATM & ARROW STRIKEL
	EXISTING _____
	NEW _____
	DEMOLITION _____

1	BOLLARD DETAIL (TYP.)
2	CURB DETAIL



NOV 10 2015

REFERENCE A04 FOR PART I
OF THE FINISH PLAN DETAIL



REFERENCE ENGINEER DRAWINGS
FOR CONCRETE FOUNDATION DETAILS AND CALCS



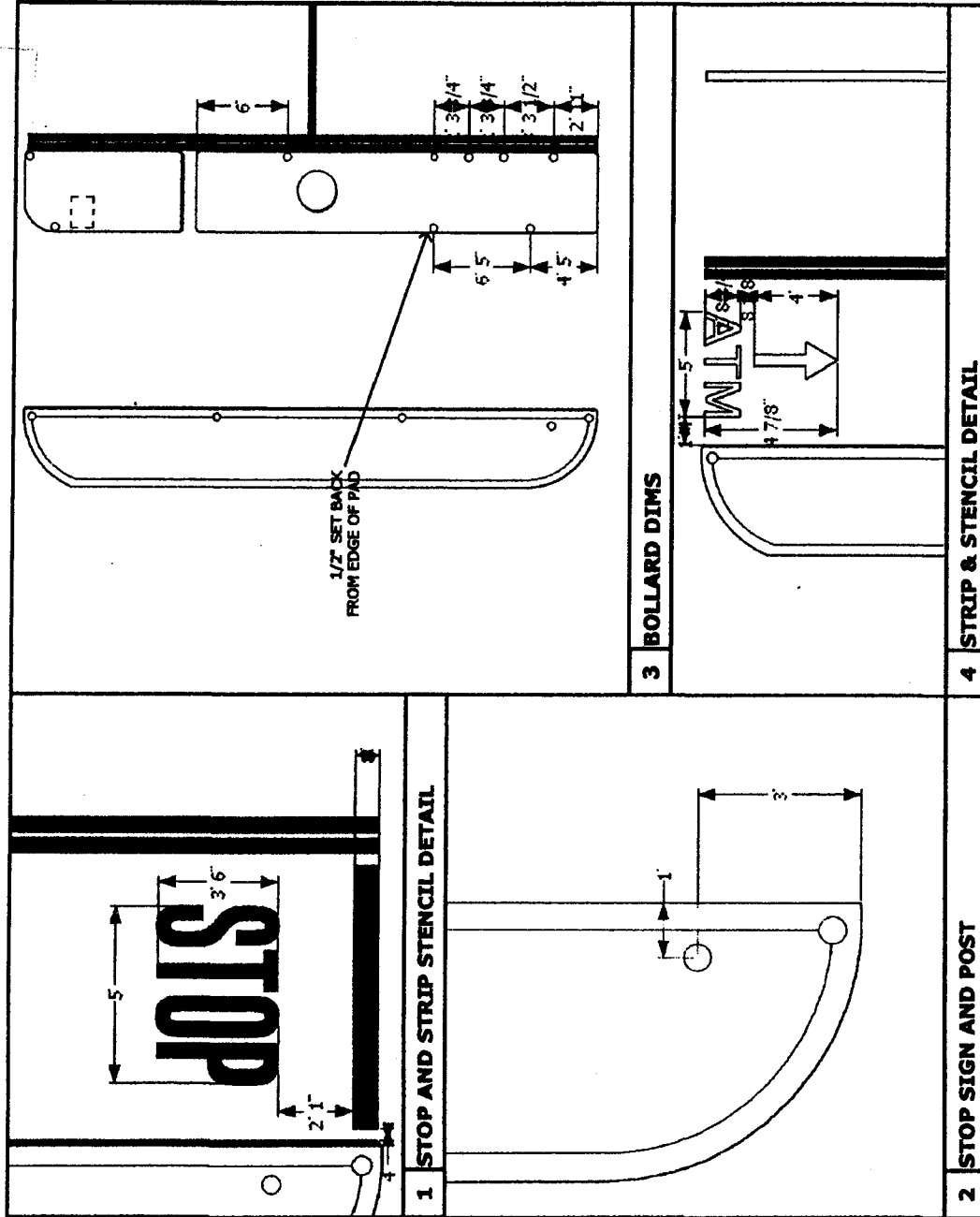
SITE PLAN NOTES	
1	(V) CHASE DRIVE UP ATH W/CONOPY
2	MODIFY (B) LANDSCAPE SHRUBS AND IRRIGATION AS REQ.
3	(C) 8" TYPE CURB AND LANDSCAPE TO REMAIN
4	(C) LIGHT POLE TO REMAIN
5	(C) TUBS TO REMAIN
6	(C) PARKING STALLS TO REMAIN (TYP.)
7	(E) ASPHALT PAVEMENT TO REMAIN
8	(E) 8" TYPE CURB TO BE DEMOLISHED
9	(C) POST FOTTING TO BE DEMOLISHED (TYP.)
10	(E) HIRADACHE BAR TO BE REMOVED
11	(E) ATH FOUNDATION PAID TO BE DEMOLISHED
12	(E) ELECTRICAL METEOROR AND EQUIPMENT TO BE RELOCATED FOR FUTURE USE
13	(C) BOLLARDS TO BE REMOVED
14	(V) ATH FOUNDATION (REF. ENGINEER DRAWINGS)
15	(V) HEADACHE BAR (REF. ENGINEER DRAWINGS)
16	(V) C/O.G. BOLLARDS (REF. ENGINEER DRAWINGS) TYP.
17	(V) TYPE-B CURB
18	(V) ASPHALT SURFURY
19	(V) CHOPPY & DOORHOUSE
20	(V) ATH & ARROW STENCIL
EXISTING	
NEW	
DEMOLITION	

1	BOLLARD DETAIL (TYP.)
2	C/ POLLED B POURED CONCRETE CURB DETAIL

FINISH PLAN DETAIL - PART II
SCALE: 1/4" = 1'-0"

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04A

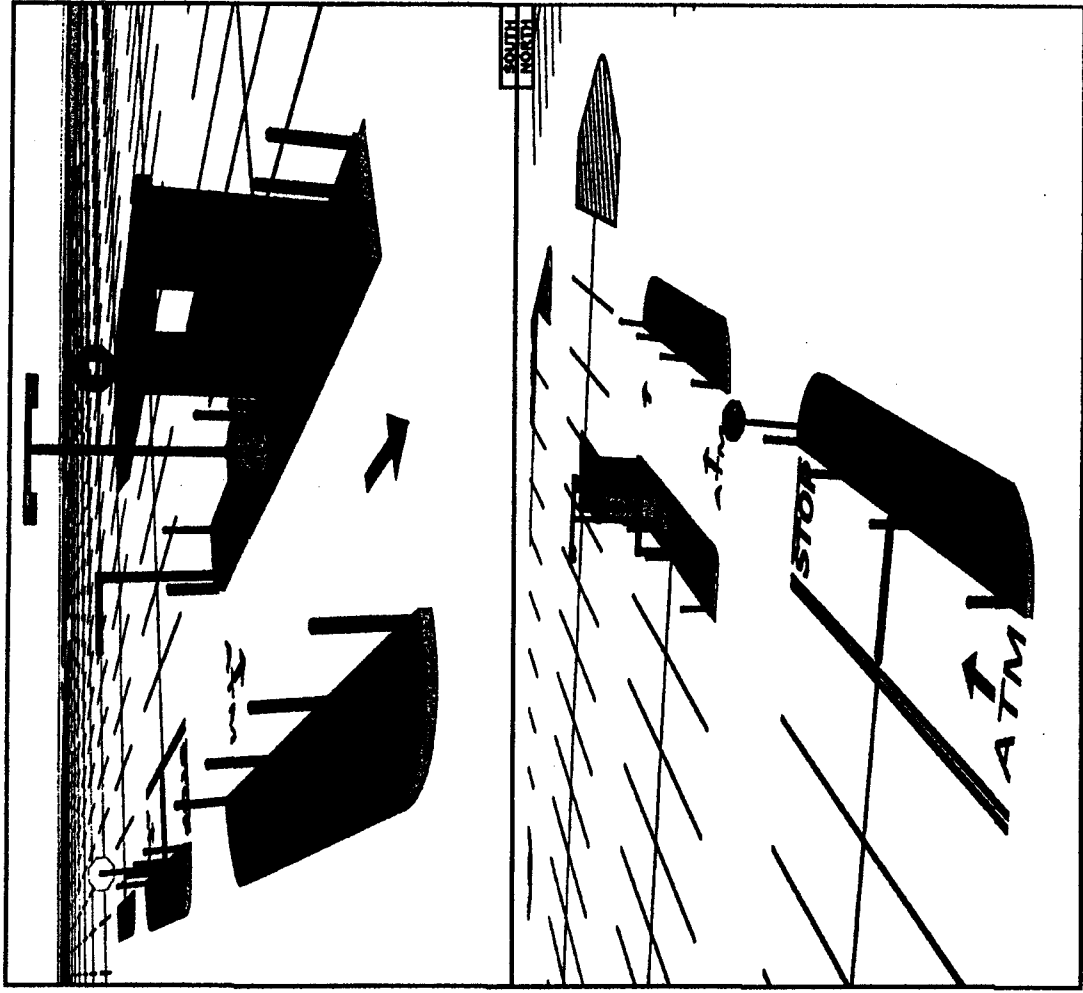
NOV 10 2015



SITE PLAN NOTES	
1	(1) CHASE DRIVE UP ATN W/CONCRETE
2	(2) MOOREY (3) LANDSCAPE, SHRUBS AND IRRIGATION AS REQ.
3	(3) 18" TYPE CURB AND LANDSCAPE TO REMAIN
4	(4) LIGHT POLE TO REMAIN
5	(5) TREES TO REMAIN
6	(6) PARKING STALLS TO REMAIN (TYP.)
7	(7) ASPHALT PAVEMENT TO REMAIN
8	(8) 18" TYPE CURB TO BE DEMOLISHED
9	(9) POST FLYTING TO BE DEMOLISHED (TYP.)
10	(10) HANDICAP HAS TO BE REMOVED
11	(11) ATN FOUNDATION PAD TO BE DEMOLISHED
12	(12) ELECTRICAL METERBOX AND DISCONNECT TO BE RELOCATED TO UTILITY USE
13	(13) BOLLARDS TO BE DEMOLISHED
14	(14) ATN FOUNDATION (REF. ENGINEER DRAWINGS)
15	(15) HEADACHE BAR(REF. ENGINEER DRAWINGS)
16	(16) 6" O.D. BOLLARDS(REF. ENGINEER DRAWINGS) TYP.
17	(17) TYPE-B CURB
18	(18) ASPHALT
19	(19) CHIMNEY & DOORHOUSE
20	(20) ATN & ARROW STENCIL
EXISTING _____	
NEW _____	
DEMOLITION - - -	



PARTIAL PLAN DETAIL
 SCALE: NOT TO SCALE



ELEVATION PLAN DETAIL
NOT TO SCALE

NOV 10 2015

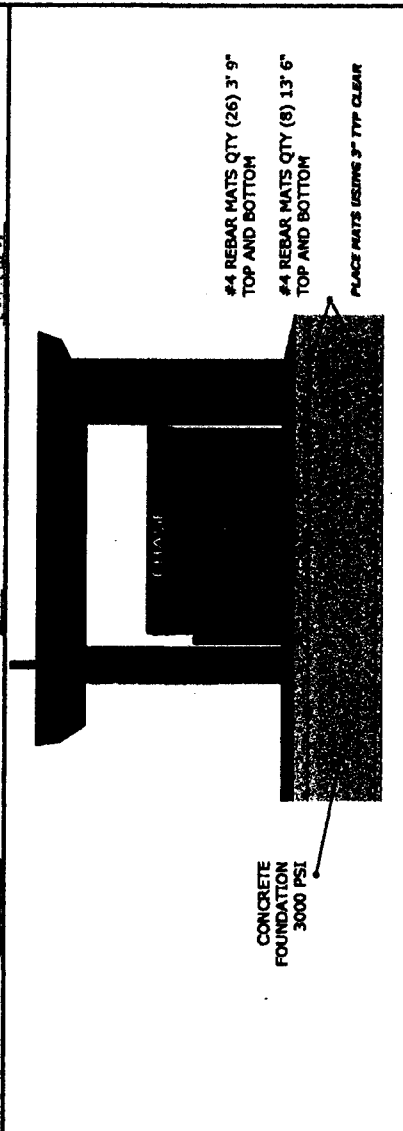
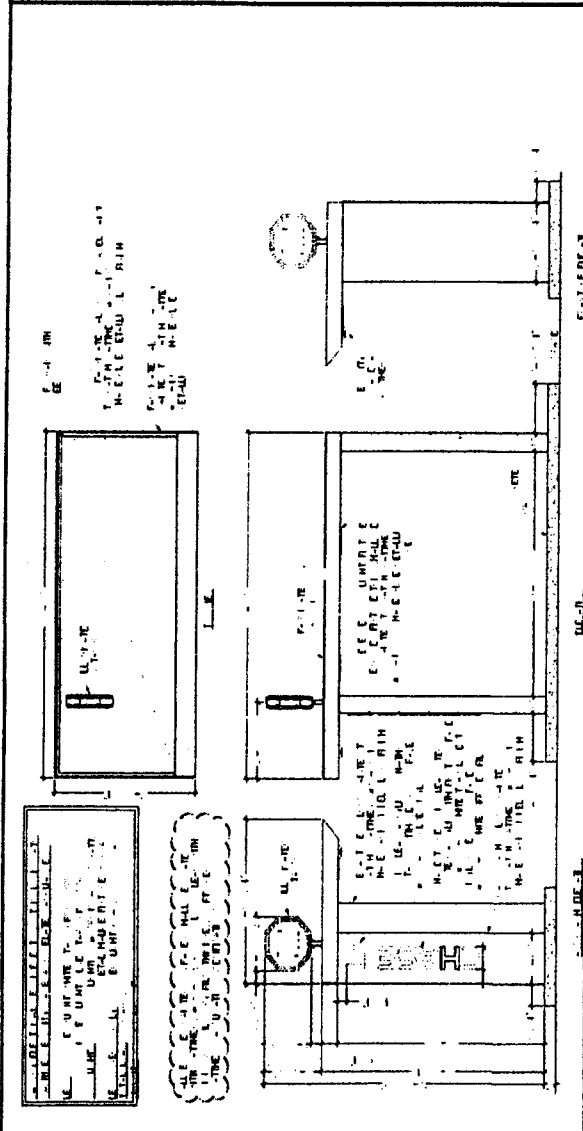
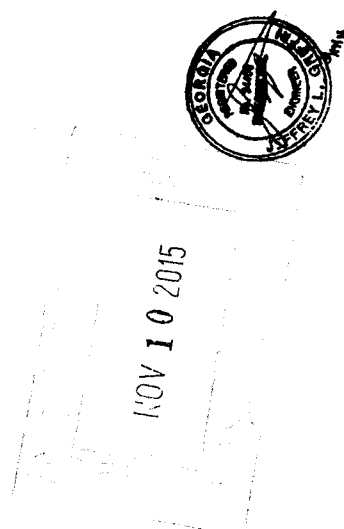
SITE PLAN NOTES	
1	(1) CHASE DRIVE UP ATM W/CONCRETE
2	(2) MONKEY (2) LANDSCAPE STRIPS AND IRRIGATION AS REQ.
3	(3) 12" TYPE CURB AND LANDSCAPE TO REMAIN
4	(4) LIGHT POLE TO REMAIN
5	(5) TREES TO REMAIN
6	(6) PAINTING STALLS TO REMAIN (TYP.)
7	(7) ASPHALT PAVEMENT TO REMAIN
8	(8) 12" TYPE CURB TO BE DEMOLISHED
9	(9) POST FOOTING TO BE DEMOLISHED (TYP.)
10	(10) HEADACHE BAR TO BE REMOVED
11	(11) ATM FOUNDATION PAD TO BE DEMOLISHED
12	(12) ELECTRICAL NETWORK AND DISCONNECT TO BE RELOCATED FOR FUTURE USE
13	(13) BOLLARDS TO BE REMOVED
14	(14) ATM FOUNDATION (REF. ENGINEER DRAWINGS)
15	(15) HEADACHE BAR/REF. ENGINEER DRAWINGS)
16	(16) 6" O.D. BOLLARDS/REF. ENGINEER DRAWINGS) TYP.
17	(17) TYPE-8 CURB
18	(18) ASPHALT SURFURY SEAL
19	(19) CHERRY & DOORHOUSE
20	(20) ATM & ARROW STRUCT.
EXISTING _____	
NEW _____	
DEMOLITION _____	



CONCRETE SOLUTIONS
LANDSCAPE IMPLEMENTATION SOLUTIONS

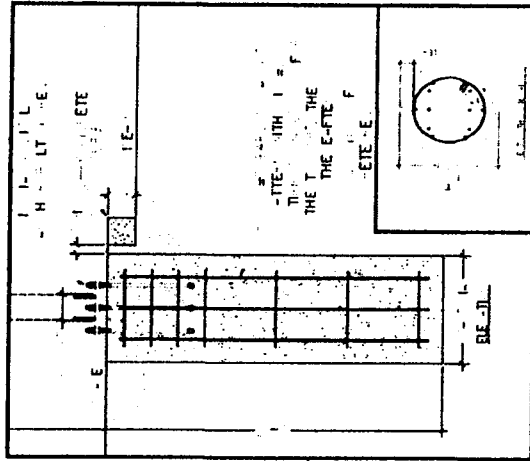
GENERAL NOTES

1. NEW CONCRETE SUPPORTING CANOPY SHALL BE 3000 PSI (28-DAYS)
2. 66# TUBE FOOTING FOR HEADBAG HE BAR TO BE 3666# PSI STRENGTH
3. ALL REMOVED / DISTURBED SOIL WILL BE CONTAINED AND DISPOSED OF SO THAT NO SOIL WILL REACH THE NEAREST DRAIN PER BEST MANAGEMENT PRACTICES GUIDELINE(S).
4. REBAR MATS FOR CONCRETE ISLAND TOP & BOTTOM:
 QTY 2-(13) #4 3'9" L6. (TOTAL 26)
 QTY 2-(4) #4 13'6" L6. (TOTAL 8)
 PLACE MATS USING 3" TYP CLEAR
5. SIGN MANUFACTURE UL CERTIFIED

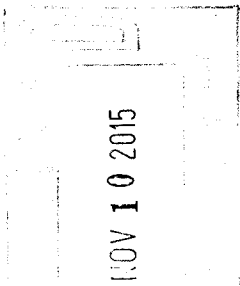


MANUFACTURING DETAIL WET STAMPED AND SIGNED BY LOCAL LICENSED STRUCTURAL ENGINEER, ACCOMPANIED FOR REFERENCE ONLY - MATERIAL AND COLOR SCHEDULE PROVIDED PER WET STAMP DETAIL(S).

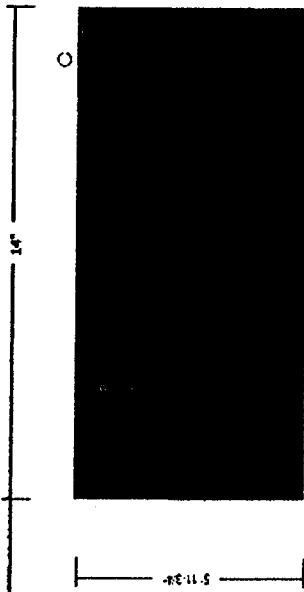
COLOR ELEVATION
 SCALE: NOT TO SCALE



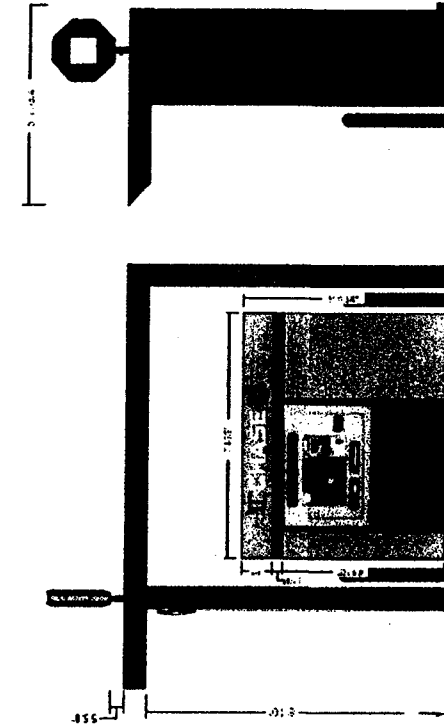
HEADACHE BAR



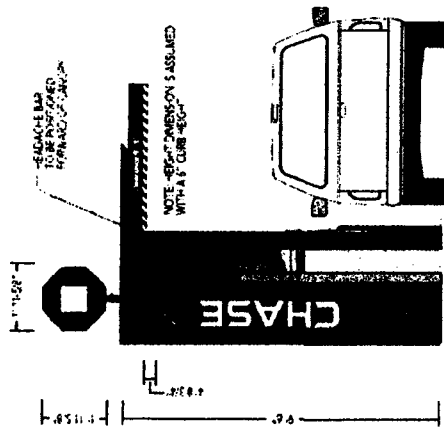
BUILDING CANOPY



Plan View SCALE: 3/8" = 1' 0"



Front View



Approach Side FS_Canopy_b.s SCALE: 3/8" = 1' 0"

Exit Side FS_Exit_HES1

MANUFACTURING DETAIL WET STAMPED AND SIGNED BY LOCAL LICENSED STRUCTURAL ENGINEER, ACCOMPANIED FOR REFERENCE ONLY - MATERIAL AND COLOR SCHEDULE PROVIDED PER WET STAMP DETAIL(S).

FINISH BUILDING CANOPY

NO SCALE

NOV 10 2015

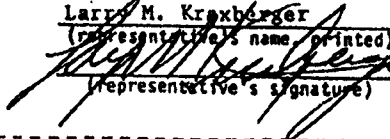
APPLICATION FOR REZONING
TO THE
COBB COUNTY BOARD OF COMMISSIONERS OF ROADS AND REVENUES
AND THE
COBB COUNTY PLANNING COMMISSION
(type or print clearly)

Application No. 167

Hearing Date 8-18-87

Applicant The Oxford Group, Inc. Business Phone (404)952-7000 Home Phone N/A
(business name)

Larry M. Kraxberger Address 1000 Parkwood Circle, Ste 200, Atlanta, GA
(representative's name, printed)



Business Phone (404)952-7000 Home Phone (404)953-8700
30339

Titleholder See attached Exhibit "A" Business Phone _____ Home Phone _____

Signature _____ Address _____
(attach additional signatures, if needed)

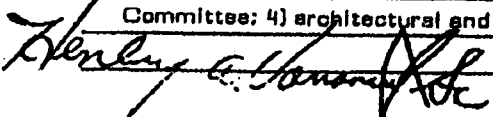
Zoning Request From Planned, Shopping Center To General Commercial
(present zoning) (proposed zoning)

For the Purpose of Shopping Center, Restaurants and Related Commercial Uses Size of Tract 24,2002 acre(s)
(subdivision, restaurant, warehouse, apts., etc.)

Location Corner Austell Road, Mulkey Road, Brookwood Drive and proposed East/West
(street address, if applicable, nearest intersection, etc.) Connector _____

Land Lot(s) 920 and 921 District 19th

Recommendation of Planning Commission 7/21/87 - Planning Commission continued public hearing for 30 days. Motion carried 4-0. 8/18/87 - Planning Commission recommended application be approved subject to the following: 1) signage to be ground based with no off-premise signs; 2) no portable signs; 3) subject to Cobb D.O.T. recommendations and review by Plan Review Committee; 4) architectural and landscaping plans to be reviewed and approved by the Staff with
Chairman _____ cont.



Board of Commissioners' Decision 8/18/87 - Board of Commissioners approved application as stated above. Motion by Clay, seconded by Smith, carried 4-0-1, Paschal abstaining.

1-24-89 Regular Meeting of Board of Commissioners - Approval of site plan for the Oxford Group for Austell Road Development: Motion: To approve the site plan as submitted, marked Exhibit A

Chairman _____ see second page

444

NOV 10 2015

PAGE 2 OF 2 :

NO. 167

COBB COUNTY BOARD OF COMMISSIONERS OF ROADS AND REVENUES
COBB COUNTY PLANNING COMMISSION

Date of Application _____ Date of Hearing August 18, 1987

Applicant's Name The Oxford Group, Inc.
1000 Parkwood Circle, Suite 200
Address Atlanta, GA 30339

Recommendation of Planning Commission (Cont'd from page 1):

the Board of Commissioners having final approval of plan. Motion by McAfee, seconded
by Jones, carried 5-0.

Henry A. ... Chairman

Final Decision of Board of Commissioners (Cont'd from page 1):

on file in the Zoning Department, for the Oxford Group's Austell Road development, located
at the southeast intersection of Austell Road and Mulkey Road, and the northwest intersection
of the East-West Connector and Brookwood Drive subject to all other stipulations placed on
the property at the time of rezoning to remain in force. (Subject property was rezoned
on July 21, 1988, Application No. 187) VOTE: ADOPTED unanimously
11-21-89 Board of Commissioners approved revised site plan dated November 10, 1989, on file in the
Planning and Zoning Department Offices. Motion by Phaschal, second by Burton. Carried 4-0-1
Powell absent from vote.

Carl E. ... Chairman

Philip L. ... Chairman

